



# city of **CREVE COEUR**

300 North New Ballas Road • Creve Coeur, Missouri 63141  
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966  
[www.creve-coeur.org](http://www.creve-coeur.org)

## NOTICE OF PUBLIC HEARING

**APPLICATION TO PLANNING AND ZONING COMMISSION  
#16-034 FOR AN AMENDMENT TO ORDINANCE #5294 TO ALLOW FOR A  
REAR-YEAR ENCROACHMENT FOR LOT 5 AND REMOVAL OF THE SIGHT-  
PROOF FENCE ALONG THE SOUTH AND EAST BOUNDARY OF THE VILLAS  
ON MOSLEY SUBDIVISION**

**FOR THE MEETING OF: Monday, December 19, 6:30 PM**

**LOCATION:** Villas on Mosley Subdivision, just south of Olive Boulevard on Mosley Road and includes 11225-11242 Mosley Manor Court, and 828 N. Mosley Road (see attached map).

**REQUEST:** William Levinson, of Benton Home Builders, Inc., submitted an application to amend Ordinance #5294 that authorized the Residential Designed Development and Subdivision and Site Development Plan for the Villas at Mosley Subdivision, to allow for a cantilevered living area to protrude into a rear yard setback up to 2.5 feet and 8 feet in width, when such rear yard adjoins common ground for Lot 5, and to eliminate the proposed fence along the south and east portions of the subdivision.

**ADDITIONAL INFORMATION:** City Council approved the RDD designation with the preliminary plat and site development for the development of 10 single-family homes on January 28, 2013 (Ordinance No. 5294). The RDD allows for flexibility in establishing setbacks upon the review of the Planning and Zoning Commission and City Council. The Planning and Zoning Commission will review the proposal at its meeting on Monday, December 19, at 6:30 PM, in the Council Chambers of the Creve Coeur Government Center located at 300 North New Ballas Road, for recommendation to the City Council. All reports, plans, documents, and related materials may be viewed at the Creve Coeur Government Center.

We encourage you to attend if you have any questions or wish to make a statement. In addition, you can submit written or e-mail comments in advance or at the meeting. For information about this proposal or to verify the meeting schedule, please call (314) 872-2501 or e-mail [wkelly@crevecoeurmo.gov](mailto:wkelly@crevecoeurmo.gov).

**APPLICANT/ PROPERTY OWNER:** William Levinson  
Benton Homebuilders, Inc.  
1000 Executive Parkway  
St. Louis, MO 63141

### Key Issues:

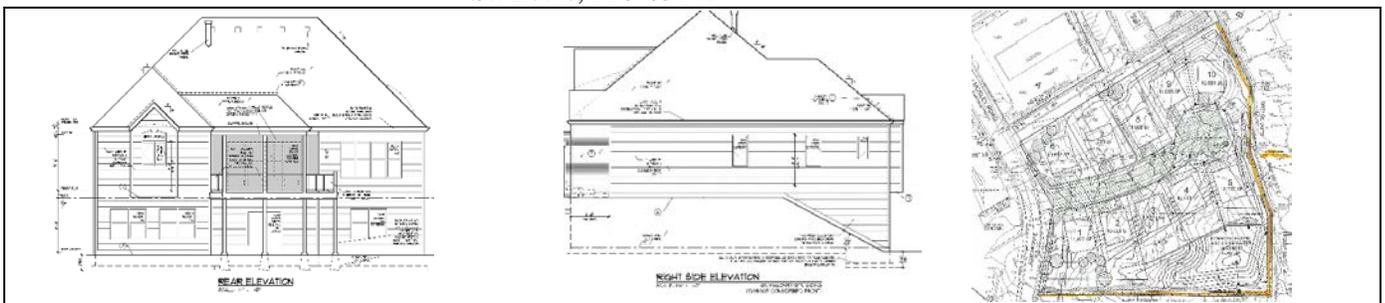
- Does the request further the goals and/or implement the Comprehensive Plan?
- Does the request follow the Subdivision Regulations?

### Comp. Plan References

- Residential Neighborhoods

### Zoning Code References

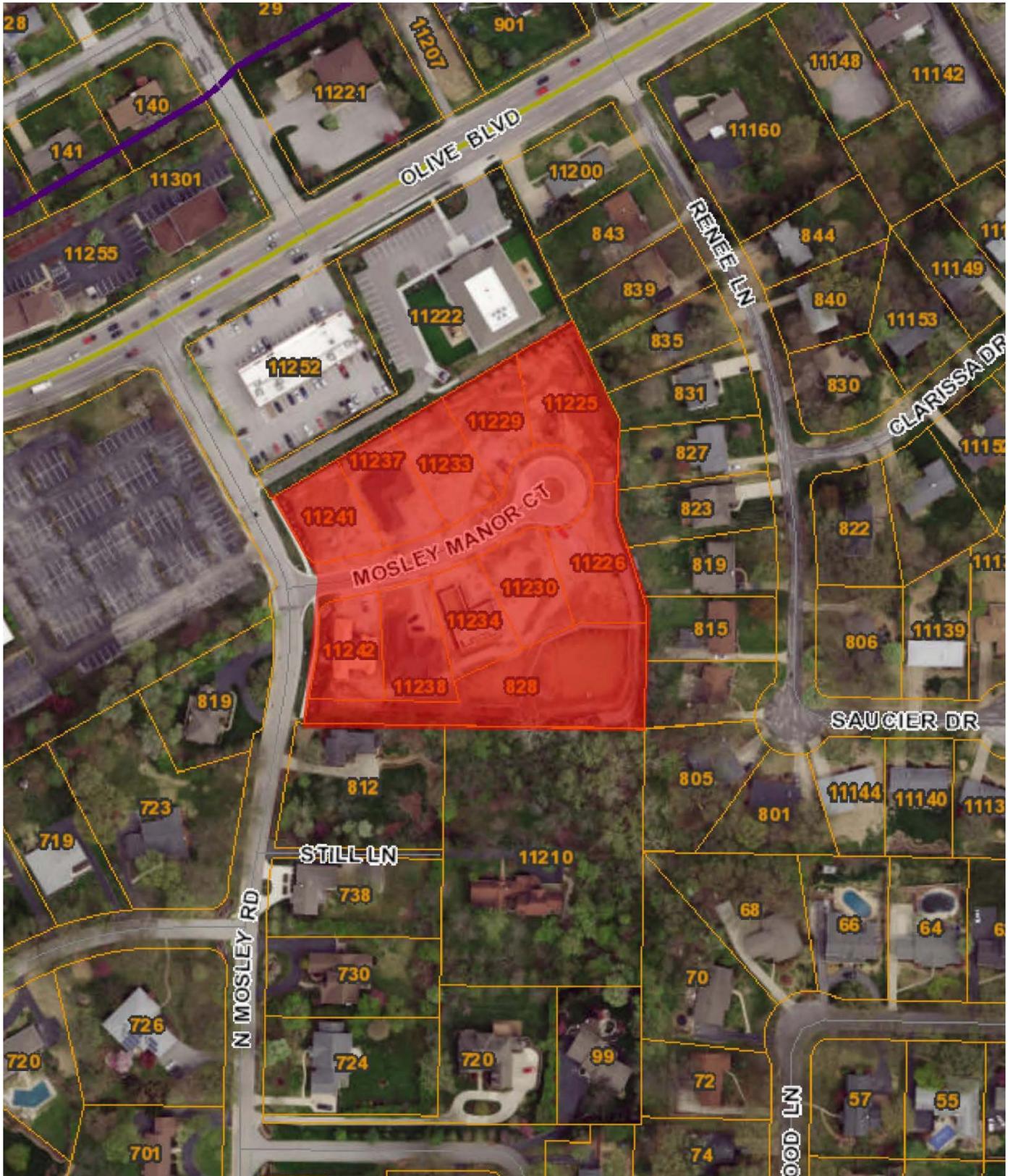
- Section 405.270: "C" Single Family Residential District
- Section 405.450.C: Residential Designed Development Procedure



**STAFF CONTACT: Whitney Kelly, City Planner**

CC: Ted Ruzicka and Ellen Lawrence, Ward II

Aerial Photo



# BENTON Homebuilders

City of Creve Coeur, Planning Dept..  
Attn: Jason Jaggi  
300 N. New Ballas  
Creve Coeur, MO 63141

Mr. Jaggi:

Please accept this request to amend the site specific ordinance (#5294) for the Villas at Mosley. We would like to amend the ordinance to include a provision that allows cantilevered living areas to protrude into a rear yard setback up to 2.5 ft. in depth and 8 feet in width, when such rear yard adjoins common ground. Please note this amendment would only impact one lot.

The Villas on Mosley provides a care free lifestyle and appeal to a customer that wants a smaller lot with less yard work. The initial zoning did not require side entry courtyard garages, however there was a strong preference from the city for side entry garages. Accordingly, the site specific ordinance incentivized us to build side entry by allowing smaller side yard setbacks to allow ample room for a turnaround pad.

Thus far, we have built every home with a side entry garage, and our hope would be to finish the development with side entry garages. However, the side entry garages push the home back further on the lot which has caused some challenges fitting the homes within the rear yard setback. Particularly on the South side of the street, where a 30 ft. set back was required (as opposed to 22.5 ft. on the North side of the street).

Lots 1, 2, 3, 4, & 5 are all on the South side of the street and are the only lots that adjoin common ground. All of these lots are built except Lot 5. For Lots 1 – 4 we were able to fit the homes with a side entry garage and work within the 30 ft. rear setback. Lot 5 is unique because the cul-de-sac right of way causes the home to be pushed back even further. The layout of the home has a cantilever (overhang without a foundation) extending over the rear setback approximately 2 feet.

We would also like to request the proposed privacy fence along the South and East portions of our property be eliminated. Installation of the fence would require the removal of a significant amount of vegetation that was planned to be preserved as part of the non-disturb areas and would be detrimental to the overall aesthetics of the new development and the adjoining properties. The grades are such that most neighboring properties would see right over the fence and would have better privacy preserving the vegetation.

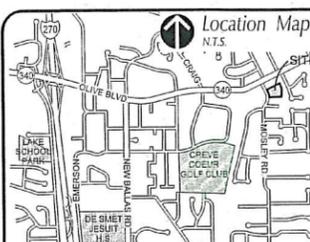
RECEIVED  
RECEIVED  
NOV 3  
NOV 21 2016  
PLANNING DEPT.  
PLANNING

Sincerely,



William Levinson  
President  
1000 Executive Parkway, Suite 106  
St. Louis, MO 63141

RECEIVED  
NOV 31 2016  
PLANNING DEPT.



SYMBOL	DESCRIPTION	Legend
—	BUILDING LINE	
—	EXISTING SANITARY SEWER	
—	PROPOSED SANITARY SEWER	
—	EXISTING STORM SEWER	
—	PROPOSED STORM SEWER	
—	EXISTING CONTOUR	
—	PROPOSED CONTOUR	
—	EXISTING TREE LINE	
—	PROPOSED TREE LINE	
—	TREES TO REMAIN	

Typical Lot	
30' REAR YARD SOUTH LOTS	22.5' REAR YARD NORTH LOTS
10,500 sf MINIMUM INDIVIDUALLY	11,760 SF +/- AVG FOR ALL 10 LOTS
9' SIDE YARD	9' SIDE YARD
20' BUILDING LINE	60' MINIMUM
50' ROW	5' SIDEWALK (typ.)
26' P.V.M.T.	

TOTAL SITE AREA	4.0 ACRES - (174,327 SF)
AVERAGE LOT SIZE	11,760 SF
AVERAGE LOT IMPERVIOUS AREA	5,000 SF
AVERAGE LOT COVERAGE	5,000 SF / 43% MAXIMUM LOT COVERAGE
TOTAL SITE COVERAGE	
AVERAGE LOT IMPERVIOUS AREA	5,000 SF x 10 LOTS = 50,000 SF
PAVEMENT & WALK IMPERVIOUS AREA	19,587 SF
TOTAL IMPERVIOUS AREA	69,587 SF
TOTAL SITE COVERAGE	69,587 SF / 40% TOTAL SITE COVERAGE
	174,327 SF

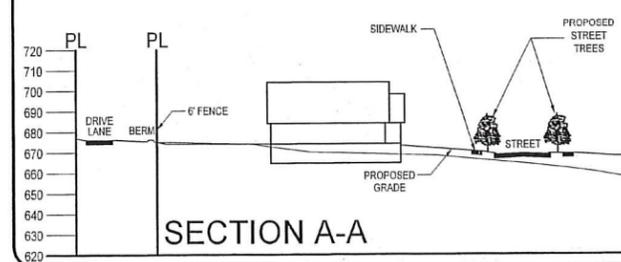
**PROPERTY DESCRIPTION - 4 ACRE TRACT**  
 A TRACT OF LAND BEING LOT 3 AND PART OF LOTS 1 AND 2 OF "KRAEMER ACRES", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 87, PAGE 20 OF THE ST. LOUIS COUNTY RECORDS AND PART OF U.S. SURVEY 1962, TOWNSHIP 45 NORTH, RANGE 5 EAST, IN THE CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHEAST RIGHT-OF-WAY LINE OF OLIVE STREET ROAD, 90 FEET WIDE, AT ITS INTERSECTION WITH THE WESTERN LINE OF LOT 1 OF "WIR-DON MEADOWS" A SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 89, PAGE 21 OF THE ST. LOUIS COUNTY RECORDS, THENCE SOUTHWARDLY, ALONG THE WESTERN LINE OF SAID LOT 1 AND THE WESTERN LINE OF LOTS 2 THROUGH 10 OF SAID WIR-DON MEADOWS, SOUTH 25 DEGREES 41 MINUTES 00 SECONDS EAST 302.25 FEET TO A POINT; THENCE SOUTH 02 DEGREES 06 MINUTES 00 SECONDS WEST 117.70 FEET TO A POINT; THENCE SOUTH 18 DEGREES 08 MINUTES 30 SECONDS EAST 127.13 FEET TO A POINT; THENCE SOUTH 00 DEGREES 58 MINUTES 00 SECONDS WEST 162.83 FEET TO THE SOUTHEAST CORNER OF PROPERTY CONVEYED TO DANIEL T. AND DIANE R. SIMS BY DEED RECORDED IN DEED BOOK 1274, PAGE 2165, OF THE ST. LOUIS COUNTY RECORDS; THENCE WESTWARDLY, ALONG THE SOUTHERN LINE THEREOF, NORTH 89 DEGREES 02 MINUTES 00 SECONDS WEST 439.93 FEET TO ITS INTERSECTION WITH THE EASTERN RIGHT-OF-WAY LINE OF MOSLEY ROAD, VARIABLE WIDTH; THENCE NORTHWARDLY, ALONG THE EASTERN RIGHT-OF-WAY LINE THEREOF, NORTH 10 DEGREES 14 MINUTES 00 SECONDS EAST 165.30 FEET TO A POINT; THENCE NORTHWESTERLY, CONTINUING ALONG THE EASTERN RIGHT-OF-WAY LINE OF SAID MOSLEY ROAD, NORTH 28 DEGREES 52 MINUTES 00 SECONDS WEST 89.62 FEET TO A POINT; THENCE NORTH 86 DEGREES 28 MINUTES 00 SECONDS EAST 5.58 FEET TO THE MOST SOUTHERN CORNER OF SAID LOT 3 OF KRAEMER ACRES, AS AFOREMENTIONED; THENCE NORTHWESTERLY, CONTINUING ALONG THE EASTERN RIGHT-OF-WAY LINE OF SAID MOSLEY ROAD, NORTH 29 DEGREES 52 MINUTES 00 SECONDS WEST 85.44 FEET TO THE MOST WESTERN CORNER OF SAID LOT 3; THENCE NORTHEASTERLY, ALONG THE NORTHWESTERN LINE OF SAID LOT 3, NORTH 59 DEGREES 14 MINUTES 00 SECONDS EAST 205.64 FEET TO ITS INTERSECTION WITH THE SOUTHWESTERN LINE OF SAID LOT 2 OF KRAEMER ACRES, AS AFOREMENTIONED; THENCE NORTHWESTERLY, ALONG THE SOUTHWESTERN LINE OF SAID LOT 2, NORTH 25 DEGREES 41 MINUTES 00 SECONDS WEST 186.05 FEET TO ITS INTERSECTION WITH THE SOUTHEASTERN RIGHT-OF-WAY LINE OF OLIVE STREET ROAD, AS AFOREMENTIONED; THENCE NORTHEASTERLY, ALONG THE SOUTHEASTERN RIGHT-OF-WAY LINE THEREOF, NORTH 89 DEGREES 17 MINUTES 00 SECONDS EAST 5.400 ACRES, MORE OR LESS.

EXCEPTING THEREFROM THE FOLLOWING:  
 A TRACT OF LAND BEING PART OF LOTS 1, 2 AND 3 OF "KRAEMER ACRES", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 87, PAGE 20 OF THE ST. LOUIS COUNTY RECORDS, IN U.S. SURVEY 1962, TOWNSHIP 45 NORTH - RANGE 5 EAST, CITY OF CREVE COEUR, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE INTERSECTION OF THE SOUTHEAST RIGHT-OF-WAY LINE OF OLIVE STREET ROAD, 90 FEET WIDE, AND THE WEST LINE OF LOT 1 OF "WIR-DON MEADOWS", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 89, PAGE 21 OF THE ST. LOUIS COUNTY RECORDS; THENCE SOUTHWARDLY, ALONG SAID WEST LINE OF LOT 1 AND THE WEST LINE OF LOTS 2 AND 3 OF SAID "WIR-DON MEADOWS" SOUTH 25 DEGREES 41 MINUTES 00 SECONDS EAST 222.58 FEET TO A POINT; THENCE SOUTH 59 DEGREES 14 MINUTES 00 SECONDS WEST 442.97 FEET TO A POINT IN THE EAST LINE OF MOSLEY ROAD, VARIABLE WIDTH; THENCE NORTHWARDLY ALONG SAID EAST LINE OF MOSLEY ROAD, VARIABLE WIDTH, NORTH 29 DEGREES 52 MINUTES 00 SECONDS WEST 37.00 FEET TO THE WESTERMOST CORNER OF AFORESAID LOT 3 OF "KRAEMER ACRES"; THENCE NORTHEASTERLY ALONG THE NORTHWEST LINE OF SAID LOT 3 NORTH 59 DEGREES 14 MINUTES 00 SECONDS EAST 205.64 FEET TO A POINT IN THE WEST LINE OF AFORESAID LOT 2 OF "KRAEMER ACRES"; THENCE NORTHWARDLY ALONG SAID WEST LINE OF LOT 2, NORTH 25 DEGREES 41 MINUTES 00 SECONDS WEST 186.05 FEET TO A POINT IN THE AFORESAID SOUTHEAST RIGHT-OF-WAY LINE OF OLIVE STREET ROAD; THENCE NORTHEASTERLY ALONG SAID SOUTHEAST RIGHT-OF-WAY LINE NORTH 89 DEGREES 17 MINUTES 00 SECONDS EAST 240.02 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.398 ACRES ACCORDING TO A SURVEY BY VOLZ INCORPORATED.

THE ABOVE-DESCRIBED PROPERTY CONTAINS 4.002 ACRES ACCORDING TO CALCULATIONS BY VOLZ INCORPORATED ON SEPTEMBER 21, 2012.



PROJECT NOTES:	
LOCATOR NUMBERS AND ADDRESSES:	17N 51 0554 - 842 N. MOSLEY ROAD 17N 51 0289 - 834 N. MOSLEY ROAD 17N 51 0182 - 828 N. MOSLEY ROAD
OWNER OF RECORD:	DANIEL T. & DIANE R. SIMS 12654 CLARK MANOR CIRCLE, ST. LOUIS, MISSOURI 63141
PREPARED BY:	VOLZ INCORPORATED 10849 INDIAN HEAD IND'L BLVD. ST. LOUIS, MISSOURI 63132
PREPARED FOR:	BENTON HOMEBUILDERS 4000 EXECUTIVE PARKWAY, SUITE 105, ST. LOUIS, MO 63141
AREA OF SITE:	4.0 ACRES
EXISTING ZONING:	C - SINGLE FAMILY RESIDENTIAL DISTRICT
PROPOSED ZONING:	C - RDD (RESIDENTIAL DESIGN DEVELOPMENT PROCEDURE)
PROPOSED USES:	RESIDENTIAL
DENSITY CALCULATIONS:	AREA OF SITE: 174,314 S.F. R.O.W.: 24,263 S.F. NET AREA: 150,051 S.F.
STORMWATER MANAGEMENT CALCULATIONS:	TOTAL ACRES: 4.0 ACRES EXISTING IMPERVIOUS: +/- 14% = 1.87 PI PROPOSED IMPERVIOUS: +/- 35% = 2.28 PI DIFFERENTIAL RUNOFF: 4.0 ACRES (2.28 - 1.87) = 1.64 CFS
WATER QUALITY (WQV):	SITE DISTURBANCE = 3.5 ACRES REQUIRED DUE TO MORE THAN 1.0 ACRE SITE LESS THAN 5 ACRES - NOT REQUIRED
CHANNEL PROT. (CPV):	DIFFERENTIAL RUNOFF OF 1.64 CFS IS LESS THAN 2.0 CFS - NOT REQUIRED
FLOOD PROTECTION (FP):	
PARKING CALCULATIONS:	2 SPACES PER LOT AT 10 LOTS = 20 SPACES
GREEN SPACE:	AREA OF SITE: 4.0 ACRES = 174,314 S.F. IMPERVIOUS AREA: 1.40 ACRES = 60,984 S.F. GREEN SPACE: 2.60 ACRES = 113,330 S.F.
AVERAGE UNIT SIZE:	12500 S.F. TO 35000 S.F.
AVERAGE LOT SIZE:	117,600 S.F. / 10 LOTS = 11,760 S.F.
TREE PRESERVATION:	EX. TREES MASS 0.596 ACRES = 25,973 S.F. 25,973 S.F. x 0.25 = 6,493 S.F. REQUIRED TO REMAIN PROPOSED TREE MASS TO REMAIN = 8,349 S.F. (32%) INDIVIDUAL 8" TREES EXISTING = 83 TREES 83 x 0.25 = 21 TREES ARE REQUIRED TO REMAIN PROPOSED INDIVIDUAL TREES TO REMAIN = 21 TREES
BENCHMARK:	ST. LOUIS COUNTY BENCHMARK 13-197, "L" ON SIDEWALK AT THE NORTHWESTERN CORNER OF A ONE STORY BRICK BUILDING 70' EAST OF MOSLEY ROAD AND 100' SOUTH OF OLIVE STREET ROAD. ELEVATION = 679.36' (NGVD '29)

- GENERAL NOTES:**
- SANITARY SEWER CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
  - STORMWATER MANAGEMENT SHALL BE DESIGNED PURSUANT TO THE CITY OF CREVE COEUR STANDARDS AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
  - THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
  - GRADING AND DRAINAGE SHALL BE PER CITY OF CREVE COEUR STANDARDS AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS.
  - LANDSCAPING WILL BE PROVIDED AS REQUIRED BY CITY OF CREVE COEUR.
  - SLOPE SHALL NOT EXCEED 3 (HORIZONTAL) : 1 (VERTICAL), UNLESS SUPPORTED BY GEOTECHNICAL REPORT AND APPROVED BY THE CITY OF CREVE COEUR STANDARDS.
  - SETBACKS FOR RDD REQUIREMENTS TAKE PRECEDENCE OVER "SPECIAL USE" SETBACK REQUIREMENTS.
  - THE PROPOSED LIGHT STANDARDS SHALL BE IN COMPLIANCE TO THE CITY OF CREVE COEUR'S LIGHTING CODE.
  - THE UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AND SHALL BE LOCATED IN EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS IN THE FIELD PRIOR TO ANY GRADING. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.
- DISTRICTS:**  
 METROPOLITAN ST. LOUIS SEWER DISTRICT  
 CREVE COEUR FIRE PROTECTION DISTRICT  
 PARKWAY SCHOOL DISTRICT  
 CREVE COEUR CREEK WATERSHED
- UTILITY SERVICE AREAS:**  
 AMEREN UE  
 LACLEDE GAS COMPANY  
 MISSOURI AMERICAN WATER COMPANY  
 CHARTER COMMUNICATIONS (CABLE TV)  
 AT&T TELEPHONE COMPANY

BY ORDER OF BENTON HOMEBUILDERS, WE HAVE PREPARED A PRELIMINARY PLAT, THE RESULTS OF WHICH ARE CURRENTLY REPRESENTED ON THIS DRAWING, WHICH IS A PRELIMINARY PLAT - NOT FOR CONSTRUCTION - AND WAS PREPARED FOR THE SOLE LIMITED PURPOSE OF PROVIDING A CONCEPT FOR THE PROPOSED DEVELOPMENT OF THE TRACT AND IS INTENDED ONLY FOR THE PRELIMINARY USE OF GOVERNMENTAL REVIEWING AUTHORITIES FOR THE PURPOSE OF OBTAINING APPROVAL OF A CONCEPT AND IS SUBJECT TO SUCH COMMENTS, RECOMMENDATIONS OR REVISIONS AS MAY BE DEEMED NECESSARY OR APPROPRIATE IN FURTHERANCE OF SAID PURPOSES.

TIMOTHY J. MEYER  
 PROFESSIONAL ENGINEER  
 PE-24665

ERIC J. KIRBY, P.L.S.  
 PROFESSIONAL LAND SURVEYOR  
 NO. 07222  
 MISSOURI  
 MO P.L.S. #2045000074

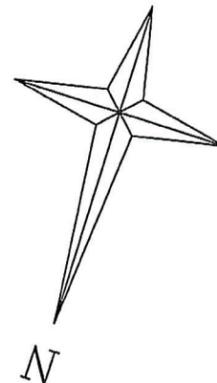
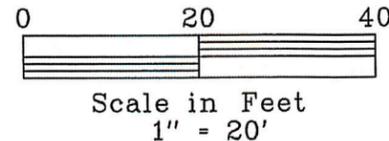
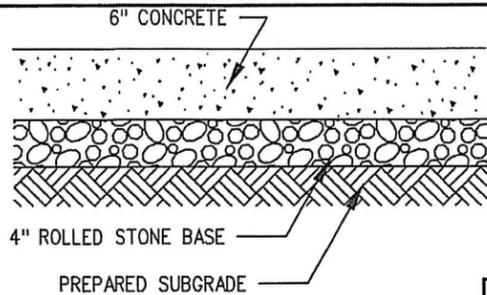
**Bentley Homebuilders**  
 1000 Executive Parkway  
 Suite 105  
 St. Louis, MO 63141  
 314-336-5555

**VOLZ Incorporated**  
 10849 Indian Head Ind'l Blvd.  
 St. Louis, MO 63132  
 314-420-6212, Main  
 314-890-1250, Fax  
 www.volzinc.com

**VILLAS AT MOSLEY**

**SITE DEVELOPMENT PLAN  
 PRELIMINARY PLAT**

11166-0  
 10-15-2012  
 REVISIONS

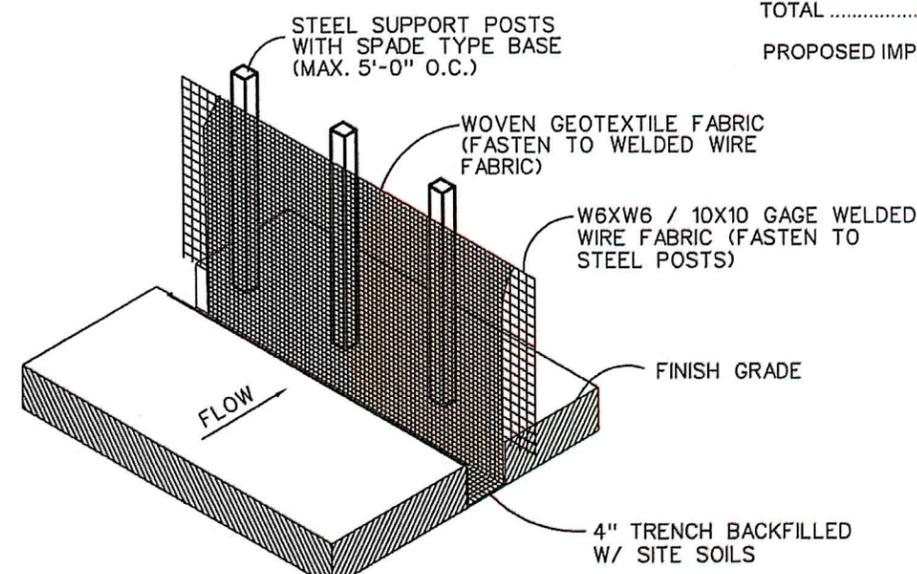


**PROPOSED IMPERVIOUS COVERAGE**

LOT AREA	13,898 SF
HOUSE/GARAGE	2,908 SF
PATIO/PORCH	261 SF
DRIVEWAY	1,147 SF
TOTAL	4,316 SF

**PROPOSED IMPERVIOUS % ..... 31.1%**

**6" CONCRETE PAVEMENT** NTS



**SILT FENCE DETAIL** NTS

- NOTES**
1. ALL EXCAVATED SOIL TO BE HAULED OFF SITE AND DISPOSED OF PROPERLY.
  2. STORM WATER PIPES CANNOT ANY CLOSER THAN 10 FEET TO A PROPERTY LINE.
  3. THE CREVE COEUR GRADING INSPECTOR MAY REQUEST MINOR CHANGES TO THE FINISH GRADE AND/OR STORM WATER RUNOFF DESIGN.
  4. ALL DISTURBED AREAS TO BE SEEDD AND STRAWED.
  5. A 48" ORANGE SAFETY FENCE IS TO BE INSTALLED AROUND THE ENTIRE PROJECT SITE AND SUPPORTED WITH REBAR AT 10' O.C.
  6. SILTATION CONTROL TO BE INSTALLED AS SHOWN PER STLCO 806-70.00
  7. GAS PIPING MUST NOT ENTER THE BUILDING BELOW GRADE.
  8. MINIMUM GRADE ELEVATIONS:  
 8" BELOW TOP OF FOUNDATION WALL  
 4" BELOW BASEMENT DOORS OPENING ONTO GRADE  
 1" PER FOOT SURFACE SLOPE DOWNWARD AWAY FROM FOUNDATION FOR A DISTANCE OF 8' UNLESS RESTRICTED BY A PROPERTY LINE.

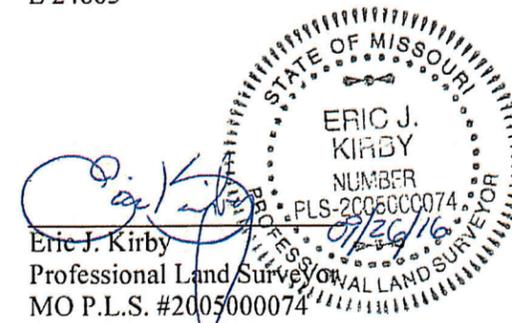
CALL MISSOURI ONE CALL SYSTEMS INC. TWO FULL WORKING DAYS IN ADVANCE OF STARTING WORK



MISSOURI ONE-CALL  
1-800-344-7483



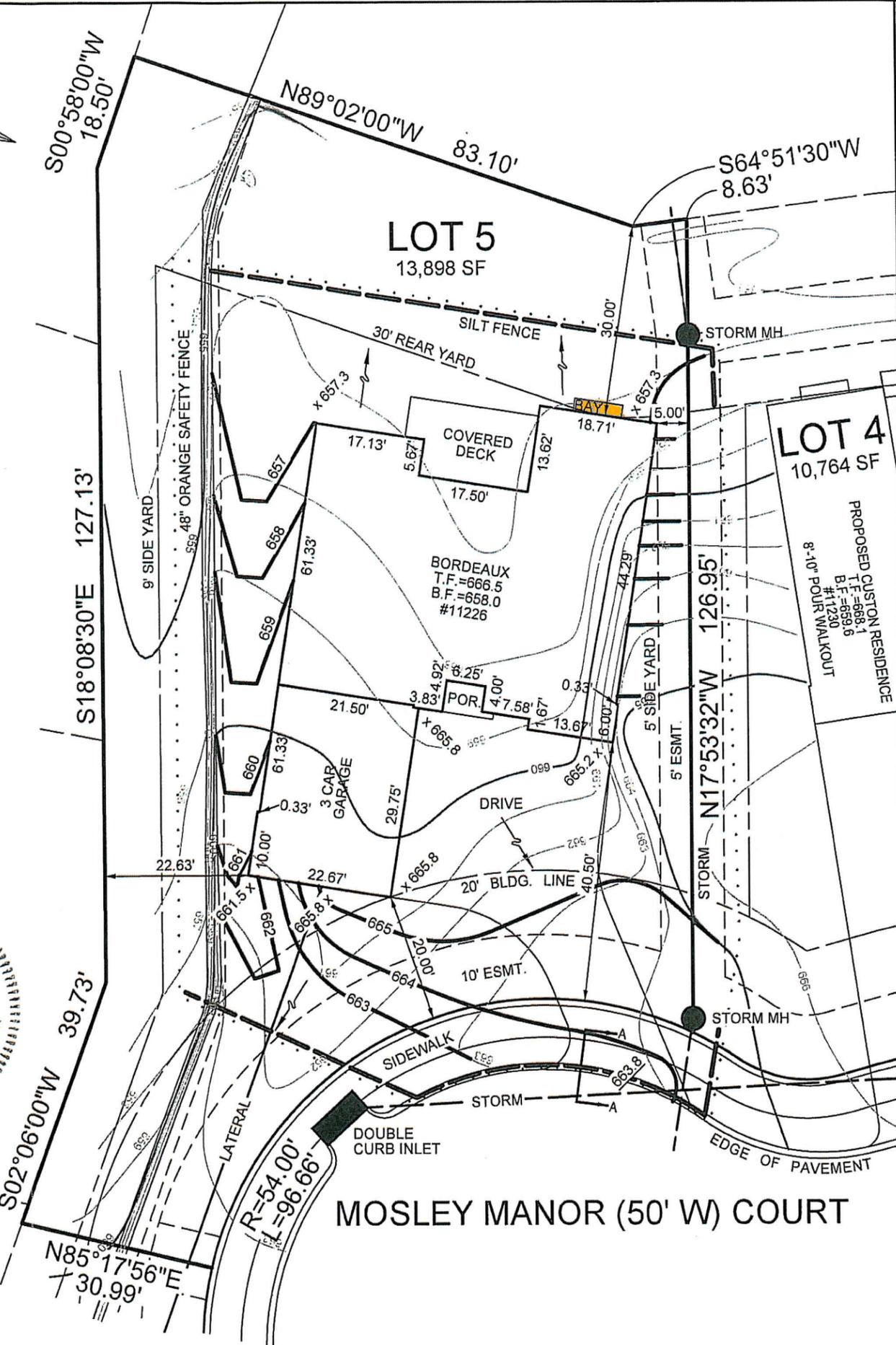
*Timothy J. Meyer*  
 Timothy J. Meyer  
 Professional Engineer  
 E 24665



*Eric J. Kirby*  
 Eric J. Kirby  
 Professional Land Surveyor  
 MO P.L.S. #2005000074

This plot plan has been prepared and is to be used for the sole purpose of obtaining a building permit pursuant to County and/or City Ordinances, and shall not be used to determine fire ratings or for any other purpose. This plot plan is not a survey, and does not purport to be a complete or accurate depiction of all easements, setbacks and other restrictions that may affect this property. All information concerning proposed improvements and their location has been supplied by third parties and Volz, Inc. has relied on and makes no warranties, guarantees or representations concerning the accuracy of such information. Dimensions and property line ties are to the foundation unless otherwise noted. Existing and proposed grades are taken from the subdivision improvement plans and may not represent actual field conditions. Drainage, drive grades and the determination of the elevation of the top of foundation are the responsibility of the contractor, and the contractor must verify all grades, utilities and sewers that may influence the improvement of the site. Volz, Inc. makes no warranties, guarantees or representations as to soil conditions or stability or that additional grading or walls will not be required. This plot plan is intended and prepared for the exclusive use by Volz, Inc.'s client, and is not intended to be used or relied upon by any other party.

THE UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, OR NONEXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD, SHOWN OR NOT SHOWN, PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.



Prepared For:  
 BENTON HOMEBUILDERS  
 1000 EXECUTIVE PKWY  
 SUITE 106  
 ST. LOUIS MO, 63141

MISSOURI CORPORATE CERTIFICATES OF AUTHORITY:  
 NO. 000019 EXPIRES: DECEMBER 31, 2017 LAND SURVEYING  
 NO. 000203 EXPIRES: DECEMBER 31, 2017 ENGINEERING

**VOLZ**  
 Incorporated  
 10849 INDIAN HEAD INDL BLVD  
 ST. LOUIS, MISSOURI 63132  
 314.426.6212 main  
 314.890.1250 fax  
 www.volzinc.com

ENGINEERING - LAND PLANNING - LAND SURVEYING  
 TRANSPORTATION - CONSTRUCTION MANAGEMENT

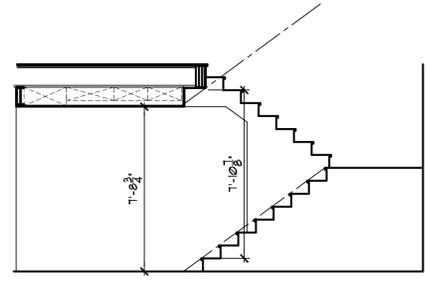
11226 MOSLEY MANOR CT  
 CREVE COEUR, MO

PLOT PLAN

11166  
 Sept. 26, 2016  
 SHEET  
 7

**FOUNDATION KEY NOTES**

1. BASEMENT SLAB: 3 1/2" CONCRETE SLAB OVER 6 MIL. VB (LAP JOINTS MIN. 6" AND SEAL) OVER MIN. 4" GRAVEL. (SLOPE TO FLOOR DRAIN)
2. GARAGE SLAB: 4" CONC. SLAB OVER MIN. 4" GRAVEL. 1/2" REBAR 4'-0" O.C. EACH DIRECTION. DOUELED INTO WALL W/ (2) 12" DEEP PIERS PER BAY FRONT TO BACK (SLOPE TO GARAGE DR MINIMUM 4" IN 10') - MATCH SLAB SLOPE.
3. EXTERIOR PORCH SLABS: 4" CONCRETE SLAB OVER MIN. 4" GRAVEL. SLOPE AWAY FROM RND WITH EDGES TURNED DOWN 4" BEYOND FRONT WALL TO BELOW GRADE W/O.
4. (2) #5 BARS TOP AND BOTTOM, 24" EW. TYPICAL AT ALL INTERSECTING WALLS.
5. #4 BARS @ 24" O.C. BEND 24" INTO BOTH FOUNDATION WALL AND CONCRETE SLAB. TYPICAL AT EXTERIOR PORCH SLABS AND GARAGE SLAB (ADJACENT TO BASEMENT FOUNDATION WALL).
6. HOLD DOWN TOP OF FOUNDATION WALL @ DOOR TO RECEIVE CONCRETE SLAB.
7. FOOTINGS & PIERS: BOTTOM OF FOOTINGS TO BE MINIMUM 30" BELOW GRADE TO UNDISTURBED SOIL. PIERS TO EXTEND MIN. 24" INTO SOLID, UNDISTURBED SOIL AND MIN. 30" BELOW GRADE.
8. PROVIDE 24" DIAMETER X 24" DEEP SUMP HOLE (VERIFY SIZE) WITH FITTED COVER IF FOUNDATION DRAIN PIPE CANNOT BE DAYLIGHTED. PROVIDE PUMP IF BASEMENT IS FINISHED OR GROUNDWATER IS PRESENT, DISCHARGING TO OR WITHIN 10' OF A SIDEWALK, DRIVEWAY, STREET, PROPERTY LINE OR TO CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED. PROVIDE SINGLE OUTLET FOR SUMP PUMP ONLY OR GFI DUPLEX (VERIFY SIZE).
9. 4" DEEP 8" BELOW TOG MASONRY CHASE
10. HIGH EFFICIENCY GAS FURNACE AND HUH.
11. ELECTRICAL PANELS W/ GFI OUTLET, (200 AMP. MINIMUM) TO BE SIZED AND LOCATED BY ELECTRICAL CONTRACTOR.
12. NOT USED
13. GARAGE FOUNDATION: 10" THICK CONCRETE FROST WALL AND 24"x10" CONCRETE FOOTING. TYPICAL, UNLESS NOTED OTHERWISE.
14. HOUSE FOUNDATION: 10" THICK CONCRETE FOUNDATION WALL AND 24"x10" CONCRETE FOOTING. TYPICAL, UNLESS NOTED OTHERWISE.
15. PORCH FOUNDATION WALLS: 8" THICK CONCRETE FDN WALL AND 24"x8" CONCRETE FOOTING. TYPICAL, UNLESS NOTED OTHERWISE.
16. STEEL COLUMNS 3 1/2"x150"MT (FIXED AND ADJUSTABLE) SHALL BE SCHEDULE 40 SIZED PER PLAN. ALL COLUMNS SHALL HAVE A CAP AND BASE.
17. EGRESS WDU (SEE ELEV. FOR SIZE) W/ WINDOW WELL SEE DTL. SHT
18. MINIMUM OF (2) #5 REINFORCING BARS AROUND ALL WINDOW AND DOOR OPENINGS IN PLAIN CONCRETE FOUNDATION AND BASEMENT WALLS. BARS SHALL EXTEND A MINIMUM OF 24" BEYOND THE CORNERS OF THE OPENINGS.
19. CONCRETE FOUNDATION HEIGHT LIMITS: 8'-10" POUR HEIGHT WITH 10" THICK WALL AND 24"x10" FOOTING. MAINTAIN EXTERIOR DIMENSIONS ON FOUNDATION PLAN. SEE GENERAL NOTE SHT. FOR IRC VERT. BAR REQ.
20. CONTRACTOR SHALL NOT BACKFILL UNTIL CONCRETE FOUNDATION HAS CURED FOR A MINIMUM OF 7 DAYS.
21. BASEMENTS HAVING CONC. FOUNDATION WALLS SHALL BE INSULATED W/ R-10 FASTEN BLANKETS OR R-15 CAVITY INSULATION. SEE GENERAL NOTES.
22. I-JOIST FLR SYSTEM DESIGNATIONS ARE THOSE OF TJI TRUSS JOIST.
23. BEAM POCKET W/ MIN. 4" BEARING, GROUT SOLID & LEVEL W/ NON-SHRINK GROUT.
24. ALL METAL FASTENERS, HANGERS, ANCHORS, BOLTS ETC. IN CONTACT W/ TREATED LUMBER TO BE STAINLESS STEEL OF TRIPLE DIPPED GALV.
25. (1) 1 3/4"x11 7/8" 155 E. TIMBERSTRAND AROUND STAIR OPENINGS, FIREPLACE HEARTH, AT CORNERS OF CANTILEVERED BAYS (UNLESS NOTED OTHERWISE).
26. EMBEDDED TREATED SLEEPER STRIPS @ 16" O.C. @ FOUNDATION WALL FOR SIDING APPLICATION TO GRADE.
27. CANTILEVERS: EXTERIOR GRADE SOFFIT. INSULATE UNDER JOIST TO MIN. R-15 AND VENT THE JOIST CAVITY.
28. W/GFI LOCATED WITHIN 25' OF CONDENSER (FIELD VERIFY LOC.)
29. I-JOIST FLR SYSTEM DESIGNATIONS ARE THOSE OF TJI TRUSS JOIST.
30. TJI 560 FLR JOISTS @ 16" O.C.
31. TJI 210 FLR JOISTS @ 16" O.C.
32. TJI 560 FLR JOISTS @ 16" O.C.
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96. TJI 560 FLR JOISTS @ 16" O.C.
97. TJI 210 FLR JOISTS @ 16" O.C.
98. TJI 560 FLR JOISTS @ 16" O.C.
99. TJI 210 FLR JOISTS @ 16" O.C.
100. TJI 560 FLR JOISTS @ 16" O.C.



**STAIR DIAGRAM**  
SCALE: 1/4" = 1'-0"

**PLAN REVIEWER NOTES:**

TERMITE PROTECTION WILL BE CHEMICAL DOW 'SENTRICON

THIRD PARTY INSPECTOR TO BE USED FOR VISUAL INSPECTION OF AIR TIGHT SEAL OF BUILDING ENVELOPE. INSPECTOR TO BE NAMED LATER

FIRE BLOCK JOIST CAVITY ABV. WALLS THAT SEPERATE FINISHED AND UNFINISHED AREAS WITH MINERAL WOOL TO FILL JOIST CAVITY

ENERGY EFFICIENCY IS PER 2009 IRK CHAPTER 11, ALL VALUES BASED ON ZONE 4A. THERE IS NO DUCT WORK IN ATTIC ALL DUCTS IN CONDITION SPACE

BUILDER TO LOCATE ENERGY CONSERVATION CERTIFICATE ADJACENT TO ELEC. PANEL

AIR BARRIER PER COMBINED COMPONENTS VISUALLY TESTED BY THIRD PARTY

ALL DUCT WORK TO BE SEALED W/ MASTIC PER NII03.2.2 THERE IS NO DUCT WORK IN ATTIC ALL DUCTS IN CONDITION SPACE PER EXCETION NO TEST REQUIRED

GAS PIPE SHALL NOT ENTER HOUSE BELOW GRADE

DRIVE WAY AFRON TO BE 6" THICK CONCRETE OVER 4" COMPACTED AGGREGATE

BATHROOM FANS TO VENT TO EXTERIOR (TYP. ALL EXH. AND VENT FANS

SHOWER/TUB TILED AREAS WALL SUBSTRATE TO CONFORM WITH RT02.4.2 AND PER MATERIAL CHOICE WITH ASTM 1288, C 1325, C 1178 OR C1278 AND INSTALL PER MFG SPEC5

INSTALL 1/2" TYPE 'X' DRYWALL UNDERSIDE OF BASEMENT STAIRS

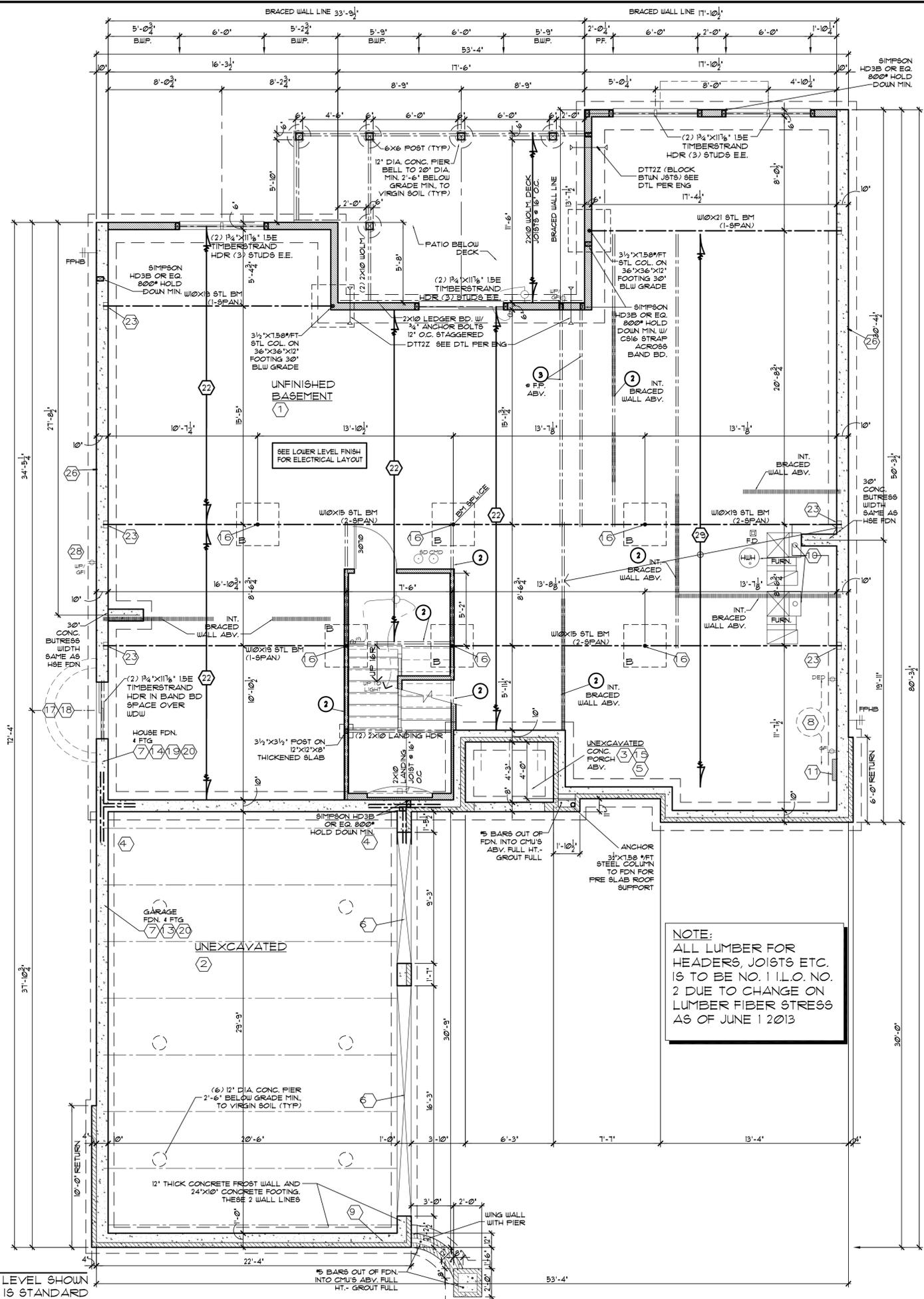
INSTALL RED, TAMPER RESISTANT SAFETY CAPS ON REFRIGERANT LINES TO OUTSIDE CONDENSER.

**BASEMENT VENTILATION**

BASEMENT SQ. FT. = 2111 SQ. FT.  
NATURAL VENTILATION REQUIRED 311 SQ. FT.  
SEE GENERAL NOTES FOR ADDITIONAL INFO.

**COLUMN PAD SCHEDULE**

- FTG-A 30"x30"x12"D. CONCRETE PAD
- FTG-B 36"x36"x12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY
- FTG-C 42"x42"x12"D. CONCRETE PAD W/ #4 BARS @ 8" O.C. EACH WAY



**NOTE:**  
ALL LUMBER FOR HEADERS, JOISTS ETC. IS TO BE NO. 1, I.L.O. NO. 2 DUE TO CHANGE ON LUMBER FIBER STRESS AS OF JUNE 1 2013

**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0" FINISHED LOWER LEVEL SHOWN ON SHT #1 IS STANDARD

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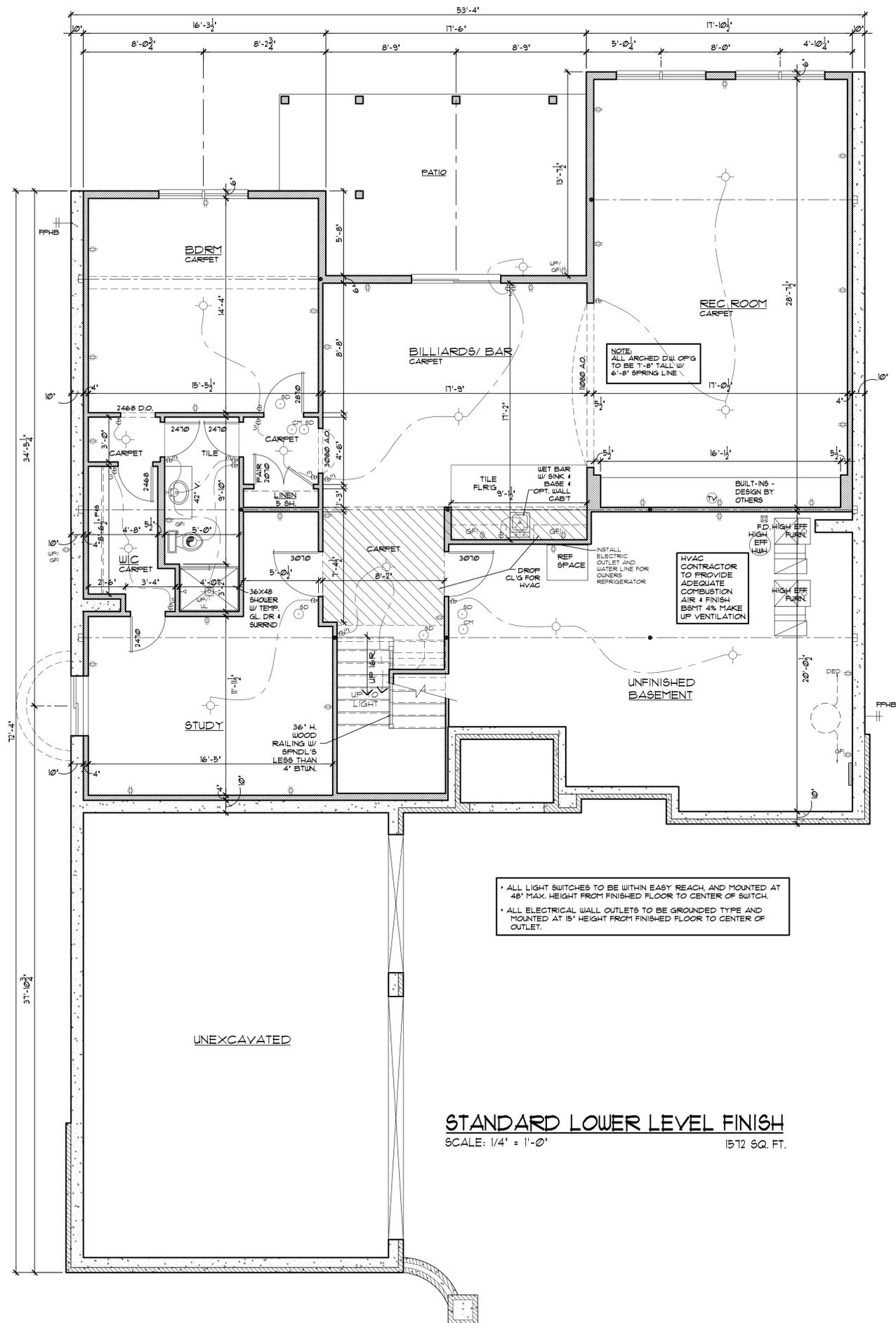
LOT 5 VILLAS on MOSLEY

SHEET CONTENTS:  
**FOUNDATION PLAN**

DATE: 02.13.16	JOB NO. 16013
REVISIONS:	
DRAWN BY: JLB	CKD BY: DCD

SHEET NUMBER  
**1**  
OF 12

ELECTRICAL SYMBOLS	
DUPLEX OUTLET	UNDER CAB. INCANDESCENT
WATER PROOF (WP)	CLICK STRIP
GROUND FAULT INTERRUPTER (GFI)	BRACKET MOUNT
FOURFLEX	CEILING MOUNT
SPECIALTY OUTLET	RECESSED CAN LIGHT
PHONE	RECESSED WALL WASH
SWITCH	FLUORESCENT LIGHT
DIMMER (D)	FLOOD LIGHT
CABLE TV OUTLET	FULL CHAIN LIGHT
EXHAUST FAN/MOTOR	SMOKE DETECTOR
COMPUTER NETWORK PORT/INTERNET ACCESS LINE	CARBON MONOXIDE DETECTOR
CEILING FAN W/ LIGHT	



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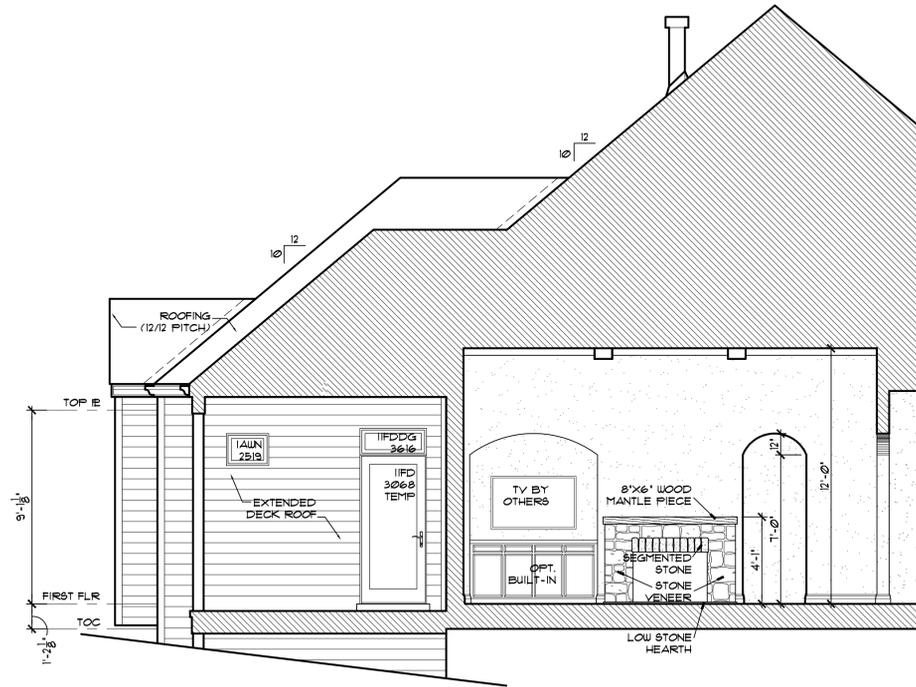
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 ST. LOUIS, MO 63141

SHEET CONTENTS:  
**LOWER LEVEL FINISH**  
 LOT 5 VILLAS on MOSLEY

DATE: 02.18.16	JOB NO. 16018
REVISIONS:	
DRAWN BY: JLB	CKD BY: DCD

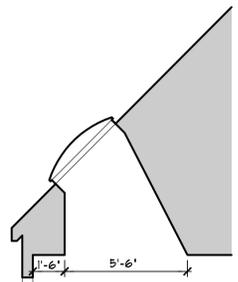
SHEET NUMBER  
**1.1**  
 OF 12

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**GREAT ROOM ELEVATION**

SCALE: 1/4" = 1'-0"



OPT. SKYLITE DIAGRAM

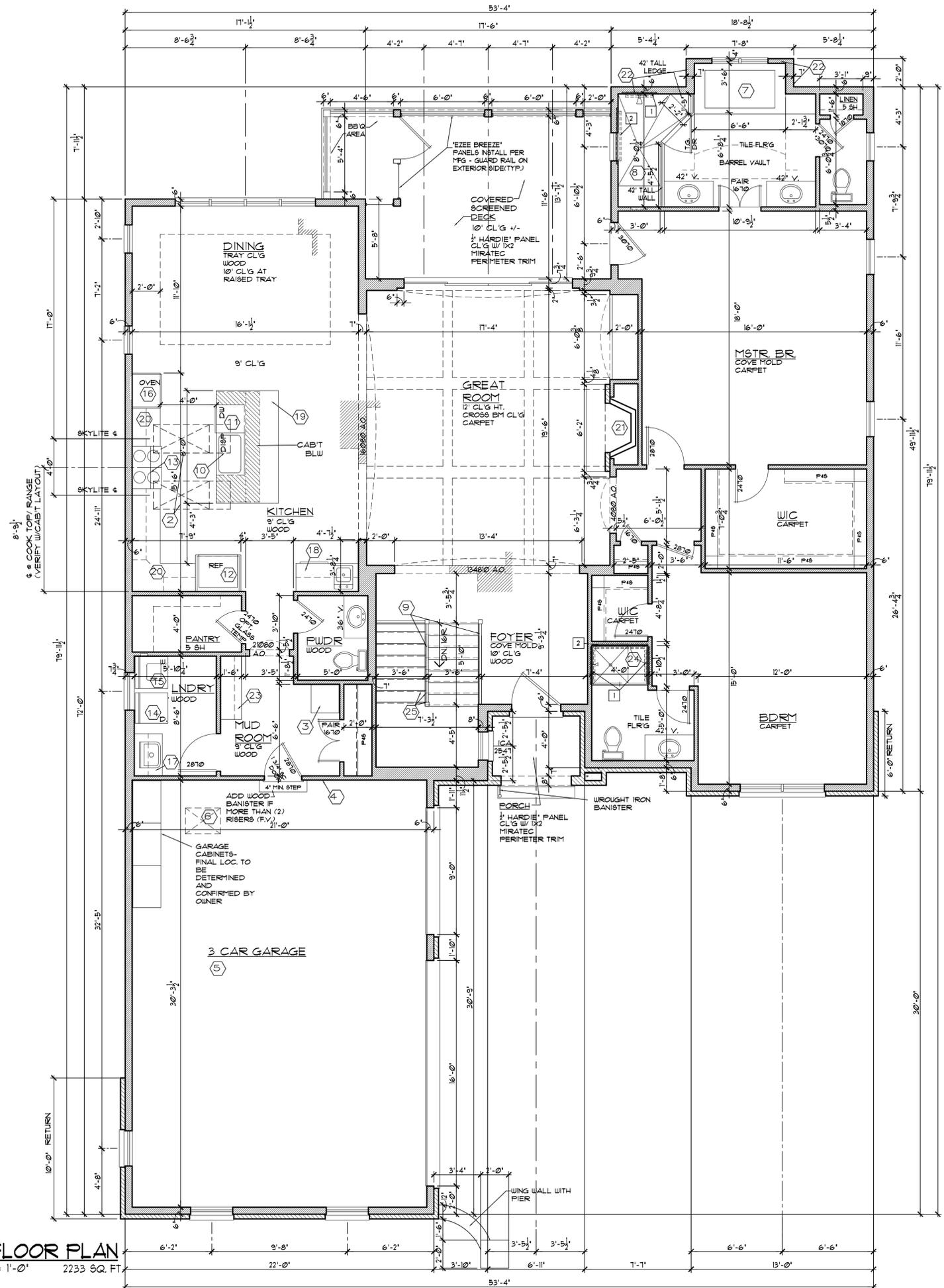
**FLOOR PLAN KEY NOTES**

- 1 - ALL INTERIOR WALLS TO BE 3/2" (2X4 STUDS), UNLESS NOTED OTHERWISE (UNO).
- 2 - 2'X4" ELECTRIC VENTING SKYLITE W/ SHADES
- 3 - CABINETS D.B.O.
- 4 - GARAGE/HOUSE SEPARATION WALL TO BE INSULATED MINIMUM R-13.
- 5 - GARAGE-ATTACHED; 1/2" TYPE 'X' DRYWALL ON GARAGE SIDE OF HOUSE/GARAGE WALL AND 1/2" TYPE 'X' DRYWALL ENTIRE CEILING.
- 6 - 22' X 30' ATTIC ACCESS (W/ FIRE RATING WHERE REQUIRED)
- 7 - FF66032A DROP-IN TUB IN TILE DECK
- 8 - CUSTOM SHOWER PAN W/ T.G. ENCLOSURE 4 CURB W/ SEAT AREA W/ OPT. HAND HELD HD 4 OPT. SHAMPOO NICHE
- 9 - 36" H. WOOD RAILING W/ SPNDL'S LESS THAN 4" BTUN.
- 10 - SINK W/ GARBAGE DISPOSAL
- 11 - 24" CLEAR SPACE FOR DISH WASHER
- 12 - 36" CLEAR X 12" TALL REFRIGERATOR SPACE W/ WATER LINE FOR ICE MAKER (VERIFY WIDTH W/ REF. MODEL)
- 13 - 36" GAS COOKTOP W/ UNDER CABINET HOOD - VENT TO EXT. IF DEVICE EXCEEDS 400 CFM MAKE UP AIR REQ'D SEE MFG SPEC'S PER ORDINANCE.
- 14 - DRYER SPACE W/ VENT TO EXT. (STD. 220V/ OPT. GAS).
- 15 - WASHER SPACE W/ HOT 4 COLD, AND HI DRAIN.
- 16 - DOUBLE OVEN W/ MICROWAVE
- 17 - 36" BASE W/ LAUNDRY SINK, OPT. WALL CABT
- 18 - WET BAR W/ BASE CABT W/SINK 4 WINE REFRIGERATOR
- 19 - CUSTOM ISLAND D.B.O.
- 20 - BASE 4 WALL CAB'S TYP.
- 21 - 45" PREFAB DIRECT-VENT FIREPLACE MANUF. LENNOX MILDVT45 AT GREAT ROOM- OPT. T.V. NICHE ABV.
- 22 - THERMO-PLY TREATMENT @ EXTERIOR TUB WALL TO RETAIN EXTERIOR INSULATION
- 23 - 18" D. BASE CABINETS 4 OPT. WALL CABINETS
- 24 - 36"X48" SHOWER W/ TEMP. GL. DR 4 CERAMIC TILE AND BENCH SEAT
- 25 - STAIRS BY OTHERS TO BE FULLY CARPETED TREADS AND RISERS W/ STAINED WOOD SKIRT RAILS 4 NEWELS

NOTE:  
ALL ARCHED D.W. OP'G TO BE 8'-0" TALL W/ 1'-0" SPRING LINE

**GRAB BAR BLOCKING NOTE:**

- 1 - INSTALL BLOCKING FOR 24" LONG GRAB BAR @ 33" ABV/ FLR 6" OFF CORNER MAX CENTER ON FIXTURE (VERIFY INSTALL W/ BUILDER)
- 2 - INSTALL BLOCKING FOR 42" LONG SIDE GRAB BAR @ 33" ABV/ FLR 12" MAX OFF CORNER (VERIFY INSTALL W/ BUILDER)



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0" 2233 SQ. FT.

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**FLOOR PLAN**  
LOT 5 VILLAS on MOSLEY

DATE: 02.10.16	JOB NO. 16018
REVISIONS:	
DRAWN BY: JLB	CKD BY: DCD

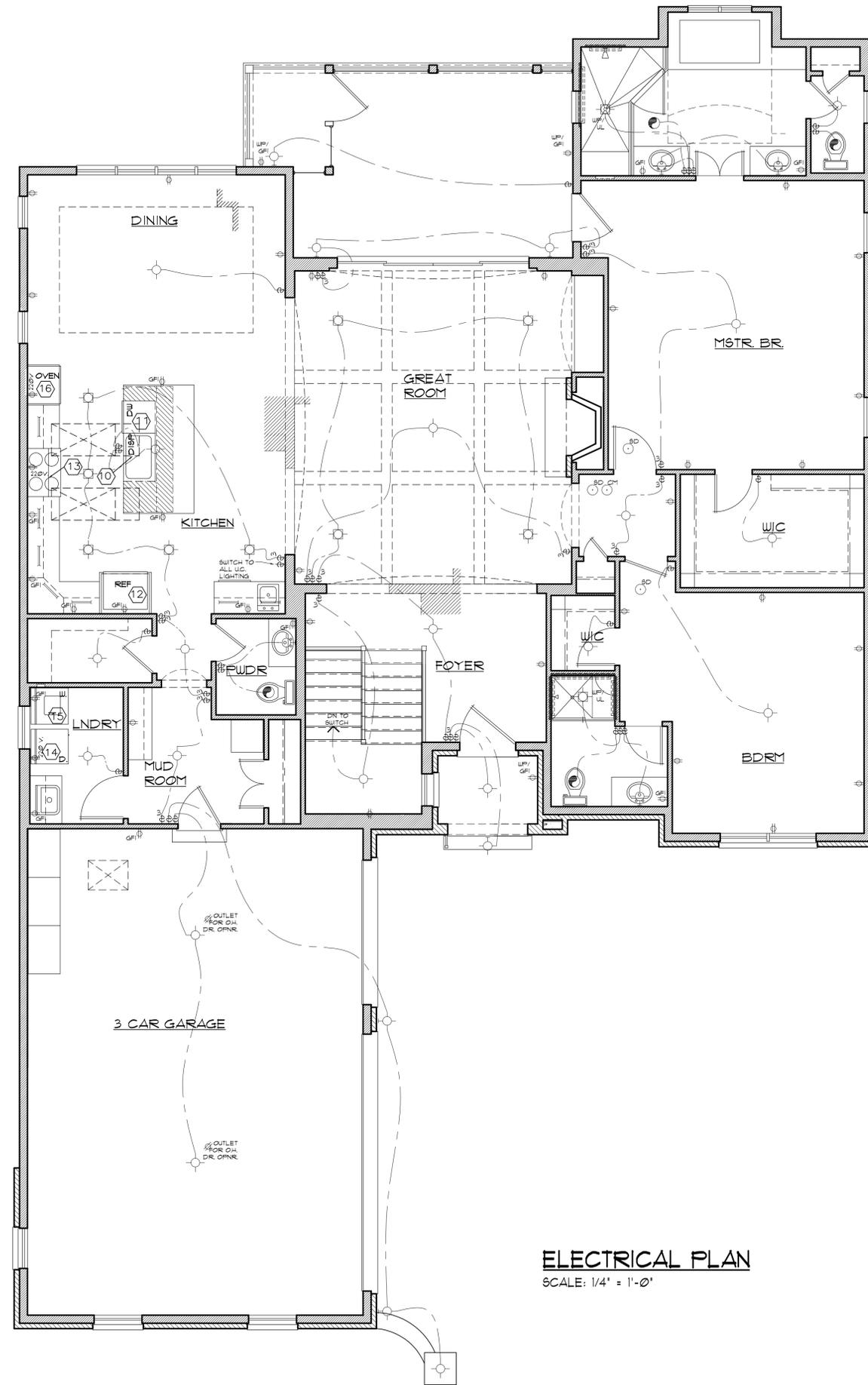
SHEET NUMBER  
**2**  
OF 12

ELECTRICAL SYMBOLS			
DUPLEX OUTLET		UNDER CAB. INCANDESCENT	
WATER PROOF (WP) GROUND FAULT INTERRUPTER (GFI)		CLICK STRIP	
FOURPLEX		BRACKET MOUNT	
SPECIALTY OUTLET		CEILING MOUNT	
PHONE		RECESSED CAN LIGHT	
SWITCH DIMMER (D)		RECESSED WALL WASH	
CABLE TV OUTLET		FLUORESCENT LIGHT	
EXHAUST FAN/MOTOR		FLOOD LIGHT	
COMPUTER NETWORK PORT/INTERNET ACCESS LINE		FULL CHAIN LIGHT	
CEILING FAN W/ LIGHT		SMOKE DETECTOR	
		CARBON MONOXIDE DETECTOR	

**ELECTRIC KEY NOTES**

- ⑩ SINK W/ GARBAGE DISPOSAL
- ⑪ 24" CLEAR SPACE FOR DISH WASHER
- ⑫ 36" CLEAR X 72" TALL REFRIGERATOR SPACE W/ WATER LINE FOR ICE MAKER (VERIFY WIDTH W/ REF. MODEL)
- ⑬ 36" GAS COOKTOP W/ UNDER CABINET HOOD - VENT TO EXT. IF DEVICE EXCEEDS 400 CFM MAKE UP AIR REQ'D SEE MFG SPEC'S PER ORDINANCE.
- ⑭ DRYER SPACE W/ VENT TO EXT. (STD. 220V/ OPT. GAS)
- ⑮ WASHER SPACE W/ HOT & COLD, AND HI DRAIN.
- ⑯ DOUBLE OVEN W/ MICROWAVE

- 50% OF LIGHT BULBS IN PERMANENT LOCATIONS TO BE HIGH EFFICACY PER N104.
- THERMOSTAT TO BE PROGRAMMABLE
- ALL LIGHT SWITCHES TO BE WITHIN EASY REACH, AND MOUNTED AT 48" MAX. HEIGHT FROM FINISHED FLOOR TO CENTER OF SWITCH.
- ALL ELECTRICAL WALL OUTLETS TO BE GROUNDED TYPE AND MOUNTED AT 18" HEIGHT FROM FINISHED FLOOR TO CENTER OF OUTLET.



**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

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ST. LOUIS, MO 63141

SHEET CONTENTS:  
**ELECTRICAL PLAN**  
LOT 5 VILLAS on MOSLEY

DATE: 02.10.16	JOB NO. 16018
REVISIONS:	
DRAWN BY: JLB	CKD BY: DCD

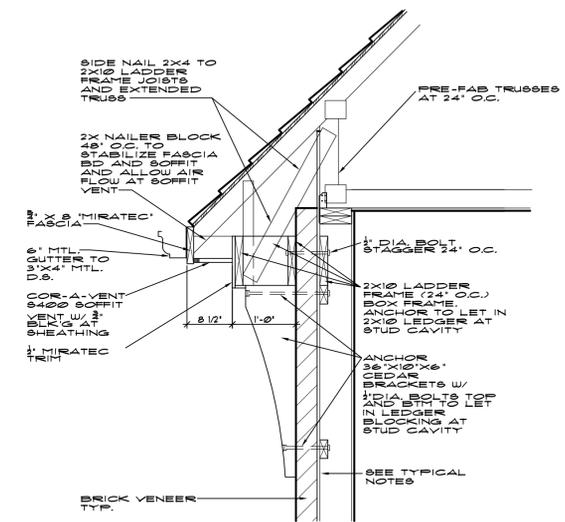
SHEET NUMBER  
**2E**  
OF 12



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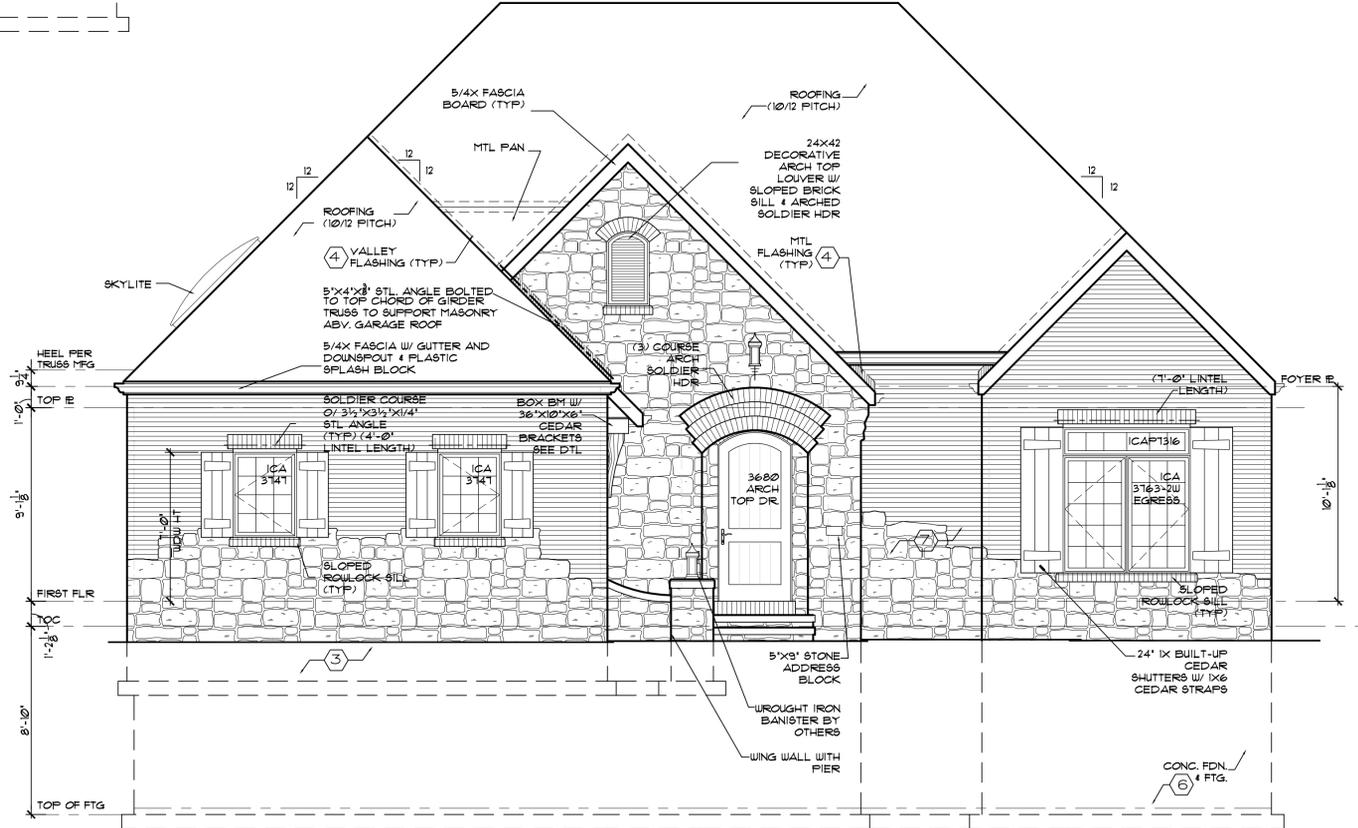
**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**BRACKETED O.H. DTL**  
 SCALE: 3/4" = 1'-0"

**ELEVATION KEY NOTES**

- 1 SEE BASE PLANS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
- 2 FINISHED GRADE (F.V.)-SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1/4" PER FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE.
- 3 FROST WALL: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL & BE MINIMUM 30" BELOW GRADE.
- 4 FLASHING: PROVIDE CORROSION - RESISTANT METAL FLASHING AT ALL WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ICE AND WATERSHEILD FLASHING AT THE ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED. ALSO USE METAL FLASHING @ ALL SIDING (OR TRIM/MASONRY TRANSITION).
- 5 WINDOW DESIGNATIONS ARE THOSE OF MARVIN INTEGRITY
- 6 FOOTINGS & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
- 7 BRICK & STONE VENEER: ALL SOLDIER AND ROULOCK HEADERS, SILLS AND TRIM TO PROJECT 1/4", UNLESS NOTED OTHERWISE.
- 8 SIDING TO COMPLY WITH ASTM C106, TYPE A, GRADE II JOINT ENDS CAULK TIGHT.
- 9 DECK DOORS: SECURELY BARRICADE DOOR UNTIL DECK IS BUILT AND APPROVED.
- 10 CANTILEVERS: PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-13 AND VENT JOIST CAVITIES.
- 11 GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
- 12 STEEL ANGLE AT GARAGE DOORS TO BE BOLTED TO STRUCTURAL HDR BEHIND USE 3" DIA. 3" LONG LAG BOLTS 24" O.C. STEEL ANGLE TO HAVE SLOTTED HOLES TO ENSURE BOLTS MOVE FREELY IN VERTICAL FASHION SO AS NOT TO PLACE A LOAD ON THE STRUCTURAL HDR.
- 13 ANY WINDOW WHOSE OPENING IS MORE THAN 6'-0" ABOVE THE FINISH GRADE OR SURFACE BELOW AND LESS THAN 24" ABOVE FLOOR WILL REQUIRE A OPENING RESTRICTOR DEVICE PER 2009 IRC R612.2

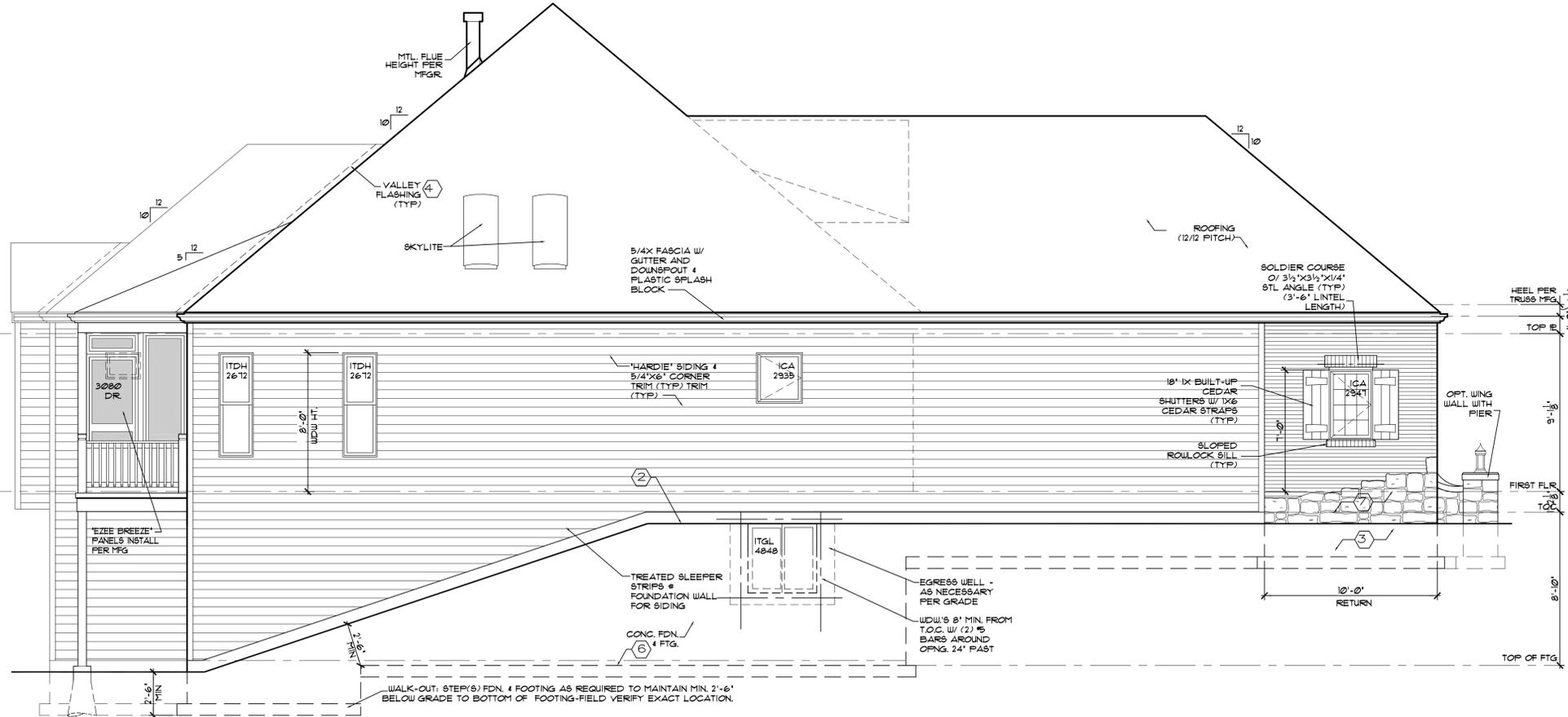


**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 100%  
 MASONRY

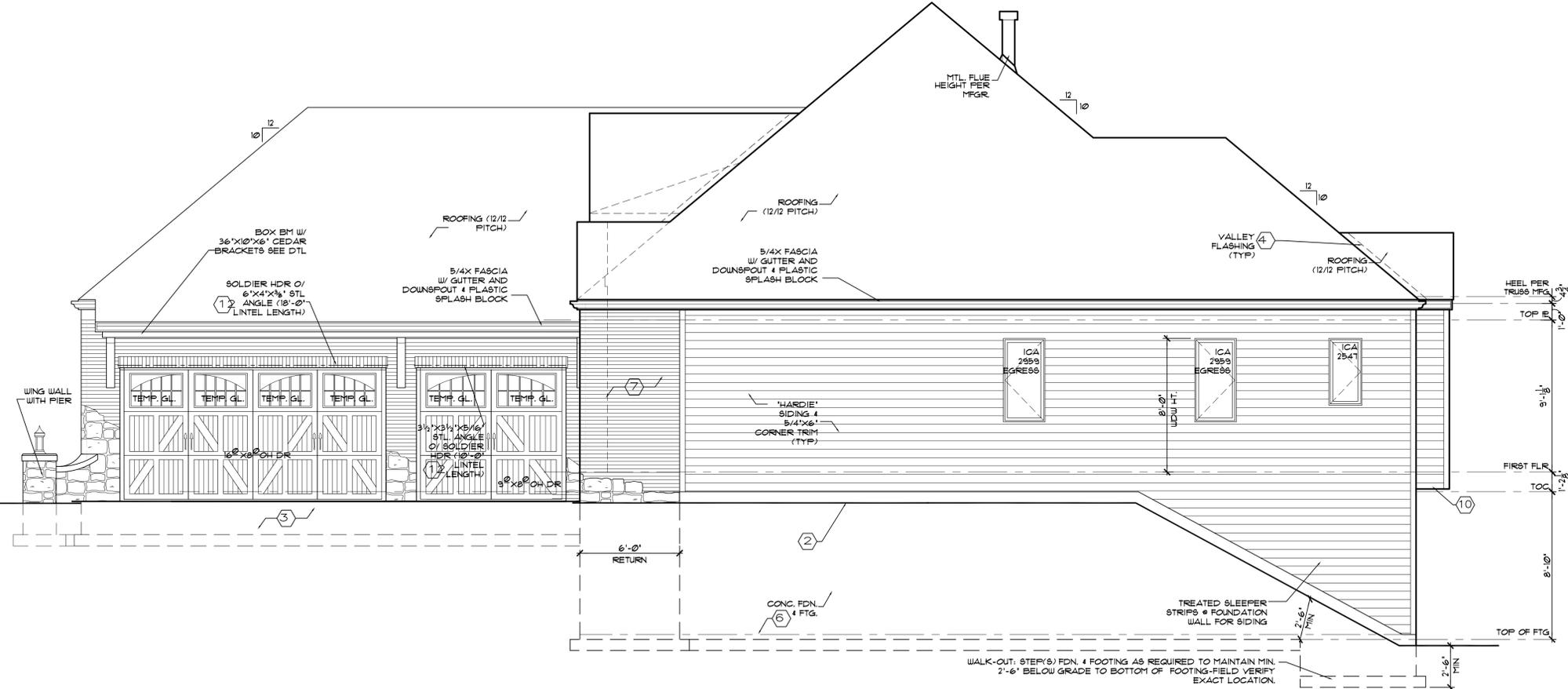
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**ELEVATION KEY NOTES**

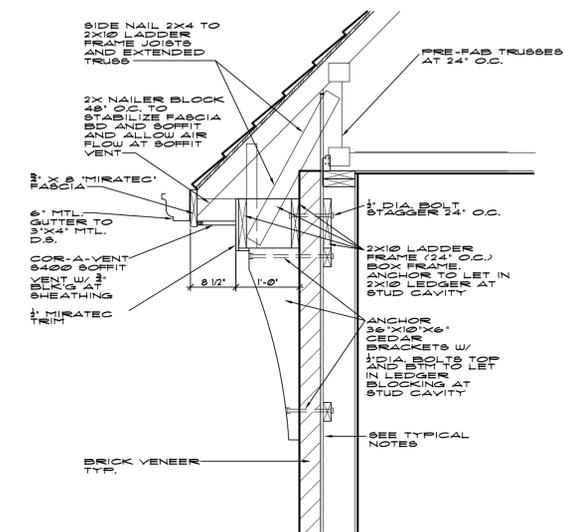
- 1-SEE BASE PLANS AND DETAIL SHEET FOR ADDITIONAL INFORMATION.
- 2-FINISHED GRADE (F.V.)-SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 1/4" FOR A DISTANCE OF 8'-0" OR TO A SWALE.
- 3-FROST WALL: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL & BE MINIMUM 30" BELOW GRADE.
- 4-FLASHING: PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ICE AND WATERSHIELD FLASHING AT THE ROOF VALLEYS PROVIDED THE SHINGLES ARE INTERLACED. ALSO USE METAL FLASHING @ ALL SIDING (OR TRIM)-MASONRY TRANSITION.
- 5-WINDOW DESIGNATIONS ARE THOSE OF MARVIN INTEGRITY.
- 6-FOOTINGS & PIERS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL. PIERS TO EXTEND MINIMUM 24" INTO SOLID VIRGIN SOIL. BOTH SHALL BE MINIMUM 30" BELOW GRADE.
- 7-BRICK & STONE VENEER: ALL SOLDIER AND ROULOCK HEADERS, SILLS AND TRIM TO PROJECT 3/4", UNLESS NOTED OTHERWISE.
- 8-SIDING TO COMPLY WITH ASTM C1186, TYPE A, GRADE II JOINT ENDS CAULK TIGHT.
- 9-DECK DOORS: SECURELY BARRICADE DOOR UNTIL DECK IS BUILT AND APPROVED.
- 10-CANTILEVERS: PROVIDE EXTERIOR GRADE SOFFIT (SEAL ALL JOINTS) INSULATION BETWEEN FLOOR JOIST TO MINIMUM R-19 AND VENT JOIST CAVITIES.
- 11-GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
- 12-STEEL ANGLE AT GARAGE DOORS TO BE BOLTED TO STRUCTURAL HDR BEHIND USE 3" DIA. 3" LONG LAG BOLTS 24" O.C. STEEL ANGLE TO HAVE SLOTTED HOLES TO ENSURE BOLTS MOVE FREELY IN VERTICAL FASHION SO AS NOT TO PLACE A LOAD ON THE STRUCTURAL HDR.
- 13-ANY WINDOW WHOSE OPENING IS MORE THAN 6'-0" ABOVE THE FINISH GRADE OR SURFACE BELOW AND LESS THAN 24" ABOVE FLOOR, WILL REQUIRE A OPENING RESTRICTER DEVICE PER 2009 IRC R612.2



**LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0" 16% MASONRY/84% SIDING



**RIGHT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0" 13% MASONRY/87% SIDING (GARAGE CONSIDERED FRONT)



**BRACKETED O.H. DTL.**  
 SCALE: 3/4" = 1'-0"