



city of CREVE COEUR

300 North New Ballas Road • Creve Coeur, Missouri 63141
(314) 432-6000 • Fax (314) 872-2539 • Relay MO 1-800-735-2966
www.creve-coeur.org

NOTICE OF PUBLIC HEARING

**APPLICATION TO THE BOARD OF ADJUSTMENT
VARIANCE REQUESTS FOR THE PROPERTY AT 11334 ST. PAUL STREET
TO ALLOW FOR A SUNROOM ADDITION TO THE HOME TO PROJECT
UP TO 10 FEET 9 INCHES INTO THE REAR-YARD WHERE THE
REQUIRED REAR YARD SETBACK IS 30 FEET**

**FOR THE BOARD OF ADJUSTMENT MEETING OF: Thursday, July 20
2017, 4:00 PM (postponed from the June 15th meeting)**

SUBJECT PROPERTY LOCATION: 11334 St. Paul Street (see attached map), zoned C Single Family Residential

REQUEST: Stephen and Sandra Spurgeon, property owners of 11334 St. Paul Street, Creve Coeur, MO, 63141, have submitted an application for a variance to allow for a 10 foot, 9 inches, by 16 feet sunroom addition to project into the rear yard setback. Section 405.270(E)(4)(e) of the C Single Family District has a minimum rear yard of 30 feet. The home is preexisting, non-conforming, and the addition would decrease the rear yard to 17 feet 4 inches. Originally scheduled for June 15, 2017; the item was postponed until July 20, 2017 for review.

ADDITIONAL INFORMATION: The Board of Adjustment is scheduled to review and take action on this request at its meeting on Thursday, July 20, 2017 at 4:00 p.m., in the Council Chambers of the Creve Coeur Government Center located at 300 North New Ballas Road. All reports, plans, documents, and related materials may be viewed at the Creve Coeur Government Center, and may be available on the City's website at www.creve-coeur.org under the Current Planning Projects page.

Key Issues:

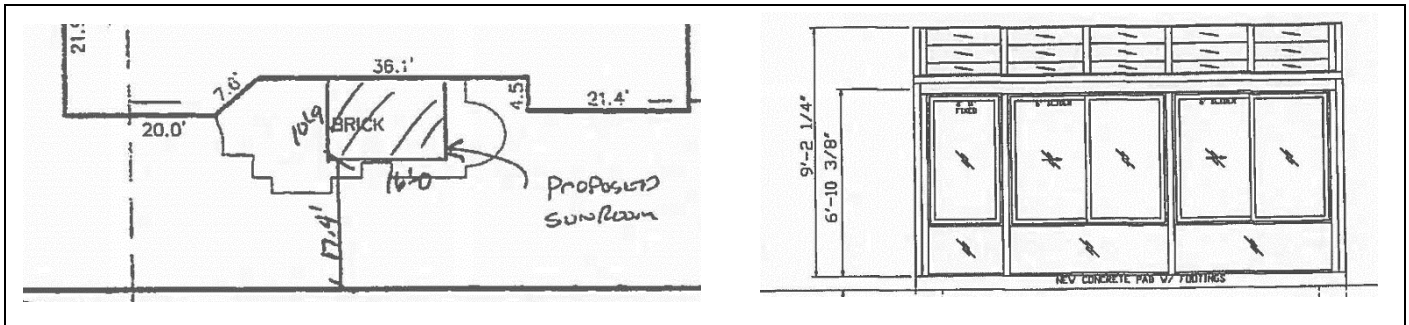
- Degree of variance
- Impact to neighborhood
- Property versus owner hardship

Zoning Code References

- Section 405.230 Establishment of Size, Dimension and Access Criteria
- Section 405.270 C Single Family Residential
- Section 405.1040: Board of Adjustment

We encourage you to attend if you have any questions or wish to make a statement. In addition, you may submit written comments in advance of the meeting. If you wish to provide comments via email, please send them to wkelly@crevecoeurmo.gov. For information about this proposal or to verify the meeting schedule, please call (314)872-2501.

APPLICANTS: Stephen and Sandra Spurgeon
11334 St. Paul Street
Creve Coeur, MO 63141

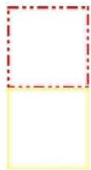
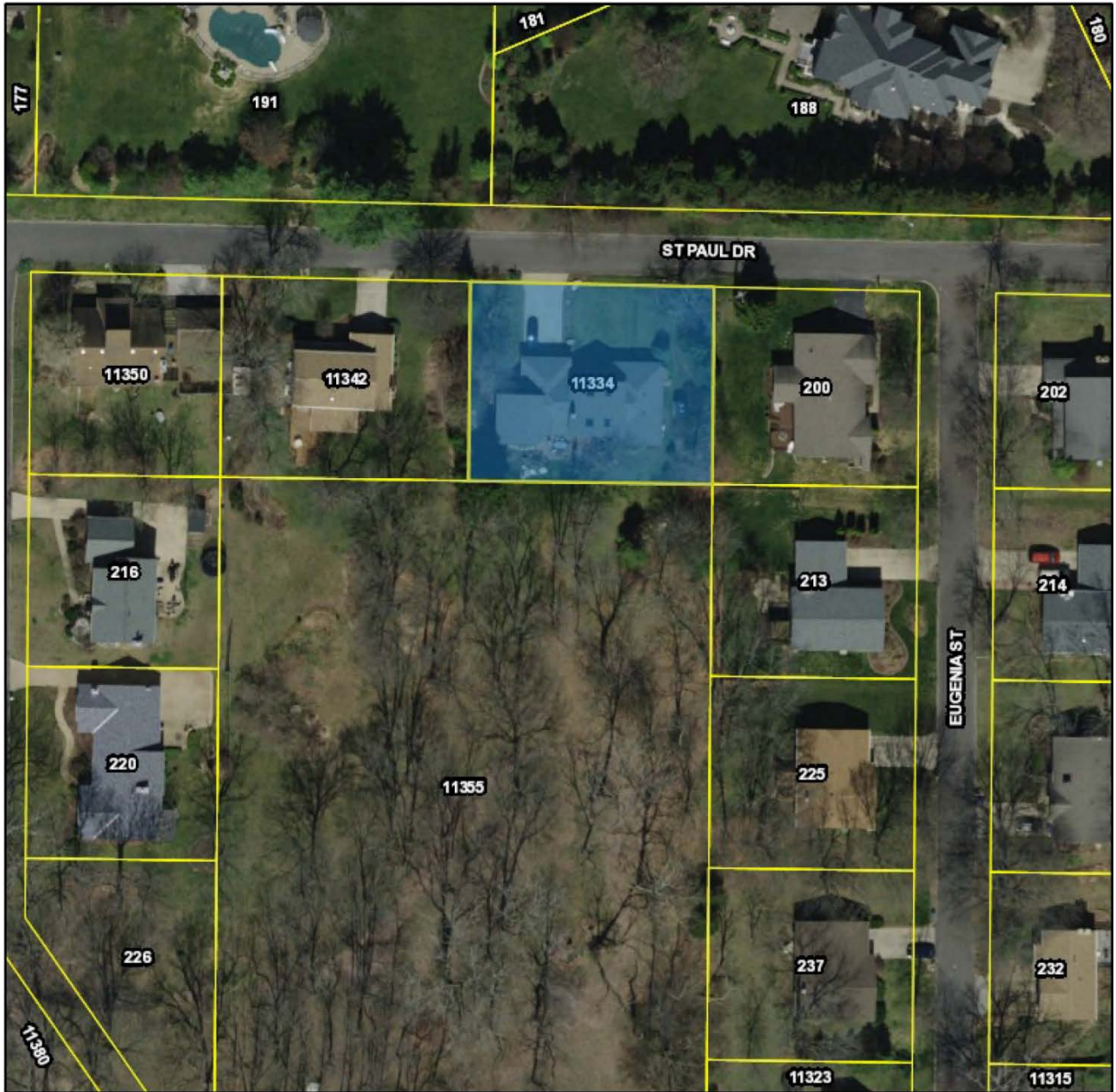


STAFF CONTACT: Whitney Kelly, AICP, City Planner

CC: Ted Ruzicka and Ellen Lawrence, Ward II

AERIAL PHOTO:

11334 St. Paul Drive



City Limits

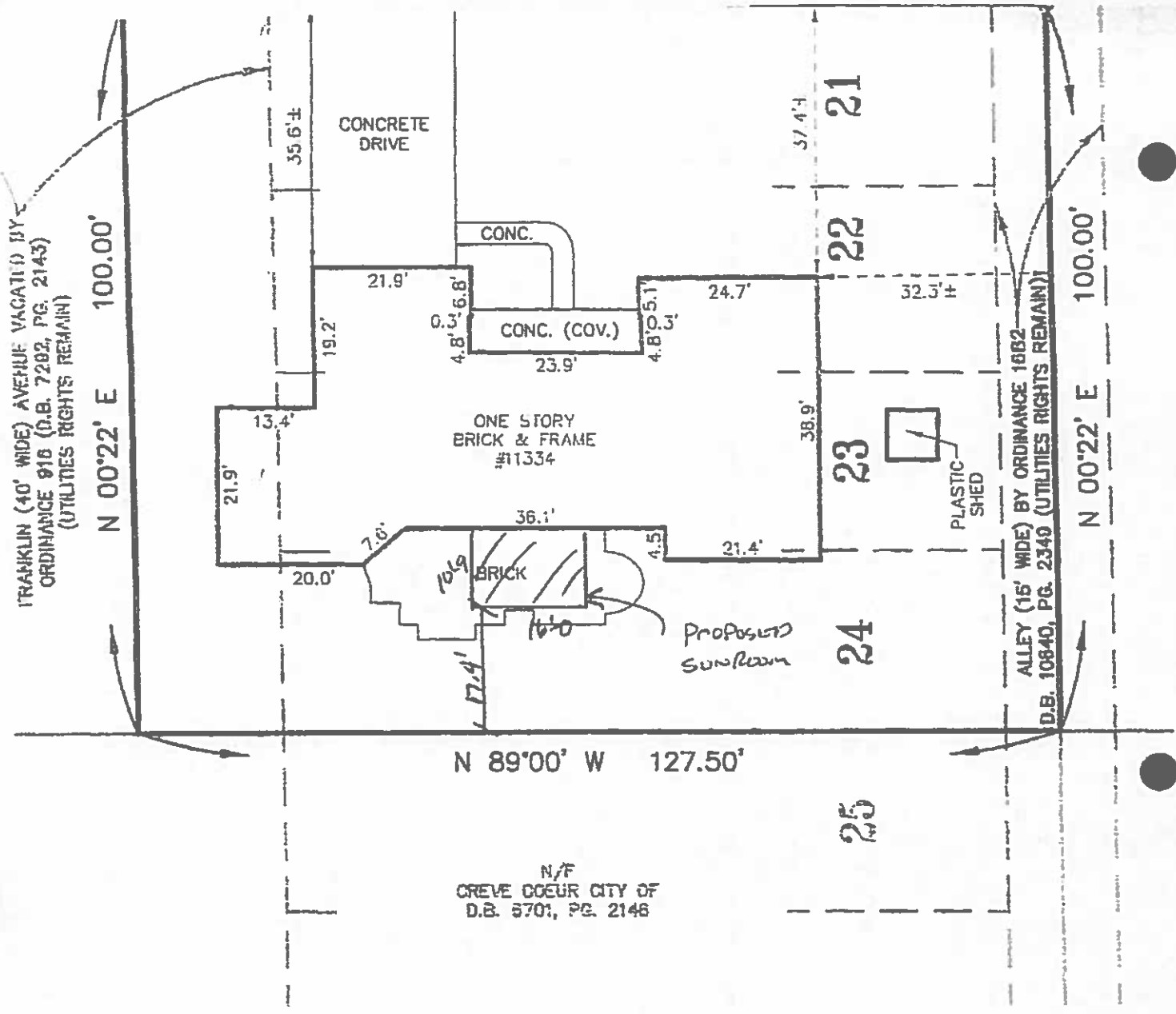
Parcels

May 24, 2017



Prepared By

HORNER SHIFFRIN

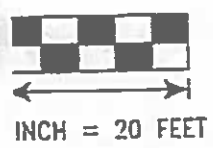


FRANKLIN (40' WIDE) AVENUE VACATED BY ORDINANCE 916 (D.B. 7202, PG. 2143) (UTILITIES RIGHTS REMAIN)

ALLEY (16' WIDE) BY ORDINANCE 1682 (D.B. 10840, PG. 2349) (UTILITIES RIGHTS REMAIN)

N 89'00' W 127.50'

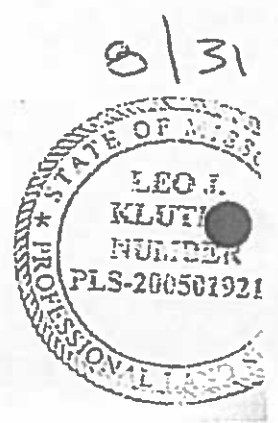
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CREVE COEUR CITY OF
D.B. 6701, PG. 2148

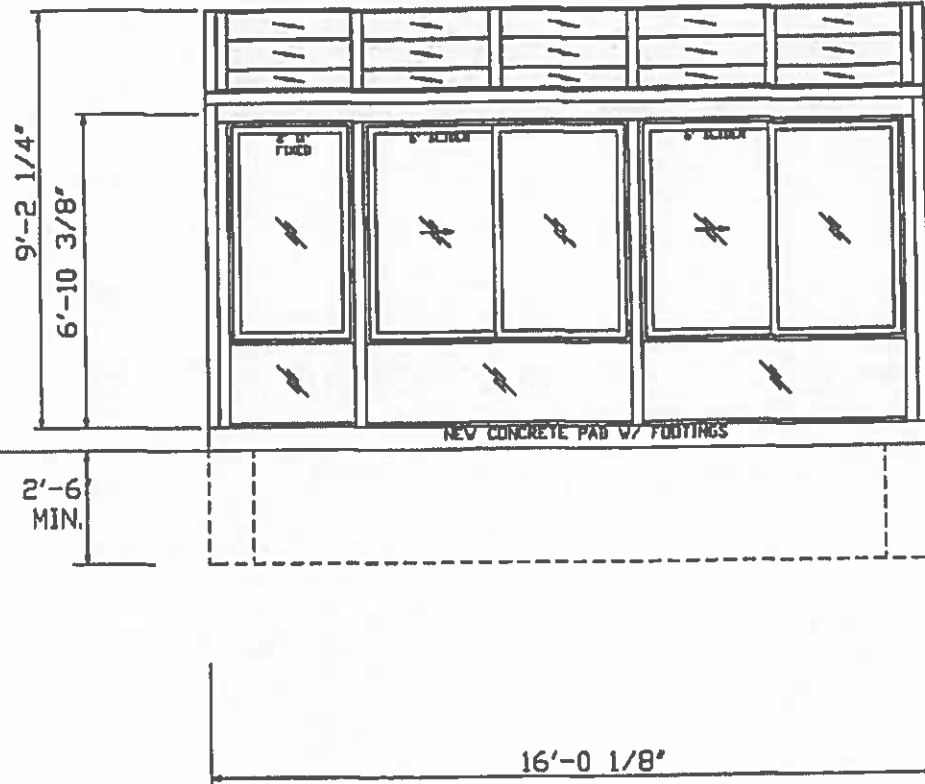


TITLE: Old Republic Title Company of St. Louis, Inc. File No. 150-782.
date: August 3, 2015 at 8:00 A.M.

By and at the request of Stephen C. Sargeant, Sandra L. Sargeant and Old Republic Title Company of St. Louis, Inc. we have, on the 27th day of August, 2015, made a Surveyor's Real Property Report for Lots 21, 22, 23 and 24 in Block 2 of Malcolm Terrace, according to the Plat thereof recorded in Book 92 of the St. Louis County Records, ALSO the East 1/2 of Franklin Avenue, adjoining the West 1/2, vacated by Ordinance No. 916 of the City of Creve Coeur, a certified copy of which is on Book 7202 page 2142, ALSO the West 1/2 of a former 15 foot wide North-South Alley, also Lots on the East, vacated by ordinance No. 1682 of the City of Creve Coeur, a certified copy of which is recorded in Book 10840 page 2349 in St. Louis County, Missouri, and that the result of the Real Property Report is represented on this plat.

This Real Property Report was conducted by the Land Surveyor or under his immediate supervision and the accompanying drawing is a representation of the conditions that were found at the time of the survey. It is subject to change.





FRONT ELEVATION

SCALE: 1/4" = 1'-0"



NOTES:

1. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED.
2. A NEW BRONZE "FOUR SEASONS" STUDIO SUNROOM IS TO BE BUILT ON A NEW CONCRETE PAD WITH FOOTINGS.
3. SUNROOM WILL HAVE A "FOUR SEASONS" INSULATED GLASS ROOF SYSTEM.
4. ALL CONNECTIONS TO EXISTING HOME ARE TO BE FLASHED WITH CORROSION RESISTANT FLASHING AND SEALED WEATHER TIGHT.
5. ALL MATERIAL AND COMPONENTS ARE TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS/SPECS.

NOTES:

- * WIND SPEED - 80 MPH
- * EXPOSURE B
- * SNOW LOAD - 30 PSF
- * ROOF LIVE LOAD - 20 PSF
- * DESIGN DESIGN CATEGORY
- * ALL CONSTRUCTION TO COMPLY WITH 2018 OR CURRENT ICC CODES.
- * ALL ELECTRICAL WORK TO COMPLY WITH 2008 OR CURRENT NEC
- * CONCRETE TO HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSF @ 28 DAYS
- * ALL CONCRETE CONSTRUCTION PER 2008 ACI
- * REBAR TO BE GRADE 60
- * ANCHOR BOLTS TO BE ASTM A307, QALY PER ASTM F2329
- * THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO COMPLETE ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND IN ACCORDANCE WITH INDUSTRY STANDARDS AND MANUFACTURERS RECOMMENDATIONS AND/OR INSTRUCTIONS.
- * COMPLIANCE WITH THESE NOTES AND DRAWINGS DOES NOT NECESSARILY COVER ALL CODE REQUIREMENTS. WHERE THE DRAWINGS AND SPECIFICATIONS DO NOT MENTION A SPECIFIC SYSTEM, COMPONENT, OR METHOD, THE CONTRACTOR SHALL REFER TO THE 2018 ICC CODES, NFPA, ETC. AND/OR OTHER DOCUMENTS REFERENCED IN THE 2018 ICC CODES AS WELL AS LOCAL CODES IN ORDER TO PROPERLY MEET THE DESIGNER'S INTENT.
- * WHERE CHANGES AND/OR CONFLICTS EXIST WITH CODE REQUIREMENTS AND THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING ABOUT NOTED CHANGES AND/OR CONFLICTS WITH CODE REQUIREMENTS. NEW DESIGN DRAWINGS WILL BE REQUIRED.
- * PRIOR TO BEGINNING THE WORK, PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THESE DOCUMENTS.
- * DO NOT SCALE DRAWINGS. FOLLOW THE WRITTEN DIMENSIONS ONLY. ONLY WRITTEN INTERPRETATIONS OR DOCUMENTED CHANGES FROM THE ENGINEER ARE BINDING. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ORAL INSTRUCTIONS.
- * EXISTING SOIL, FOUNDATION (S), HVAC, MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL, FRAMING, BUILDING/HOUSE INTEGRITY, ETC., ARE NOT PART OF THESE DESIGN DRAWINGS. EXISTING SYSTEMS INTEGRITY AND EXISTING SYSTEMS ABILITY TO SUPPORT THIS DESIGN SHALL TO BE DETERMINED BY OTHER PROFESSIONAL CONTRACTOR. NOTIFY ENGINEER IN WRITING IF ANY EXISTING OR PROPOSED SYSTEM IS DEFECTIVE, INADEQUATE, DETERIORATED, OR DOES NOT MEET CURRENT CODE STANDARDS.
- * THE CONTRACTOR SHALL VISIT THE SITE AND BE FAMILIAR WITH ALL CONDITIONS AFFECTING THE WORK.
- * ANY ITEMS WHICH MAY NOT BE INDICATED ON THE DRAWINGS, BUT ARE NECESSARY TO COMPLETE THE ENTIRE WORK, SHALL BE SUPPLIED AND MUST BE FURNISHED IN PLACE.
- * FIELD MEASUREMENTS WERE OBTAINED PRIOR TO DEMOLITION, AND THEREFORE MEASUREMENTS TAKEN PRIOR TO DEMOLITION MAY NOT BE EXACT. THIS DESIGN IS BASED ON THOSE FIELD MEASUREMENTS. IF CHANGES ARE NEEDED BECAUSE OF INCONSISTENCIES OR FIELD FINDINGS THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING NEW DESIGN DRAWINGS, IF NECESSARY TO CORRESPOND TO THE ACTUAL FIELD CONDITIONS IF THEY VARY FROM THESE PLANS.
- * ALL COMPONENTS, MATERIALS, ETC. SHALL BE INSTALLED PER THE MANUFACTURERS INSTRUCTIONS.
- * UPDATE HOUSE SMOKE DETECTORS, CONFIRM DETECTORS IN SLEEPING ROOMS, VICINITY OF SLEEPING ROOMS, AND ON EACH FLOOR, R314.2.1
- * UPDATE HOUSE CO2 DETECTORS, CONFIRM DETECTORS IN VICINITY OF SLEEPING AREA, R314.2.1
- * RELOCATE ANY EXISTING UTILITIES AS NECESSARY
- * RELOCATED UTILITY FINISHES, 750 MAX. PLANE SPREAD DEVELOPMENT, 450 MAX. SMOKE DEVELOPMENT COEFF.

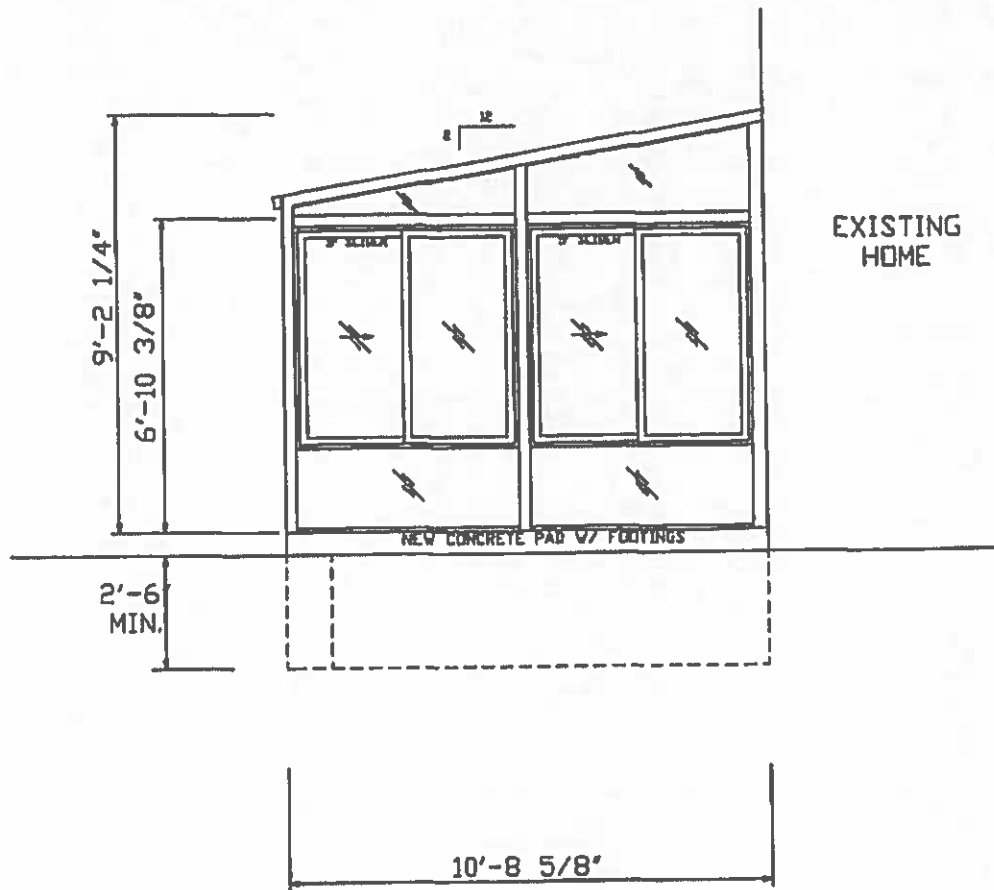
LAWRENCE L. SPURGEON, L. ENGINEER (1981) MISSOURI / MISSOURI STATE BOARD OF PROFESSIONAL ENGINEERS

PATRIOT SUNROOMS
811 S. KIRKWOOD RD.
KIRKWOOD, MO 63122
P: 314-822-8813
F: 314-822-8813

DWG NO	17-8104
RCV	1
SHEET	32017

SPURGEON
11334 ST. PAUL ST.
CREVE COEUR, MO 63141

Broughton ENGINEERING
PHONE: 314-883-3300
FAX: 636-332-0808
E-MAIL: info@broughtoneng.com

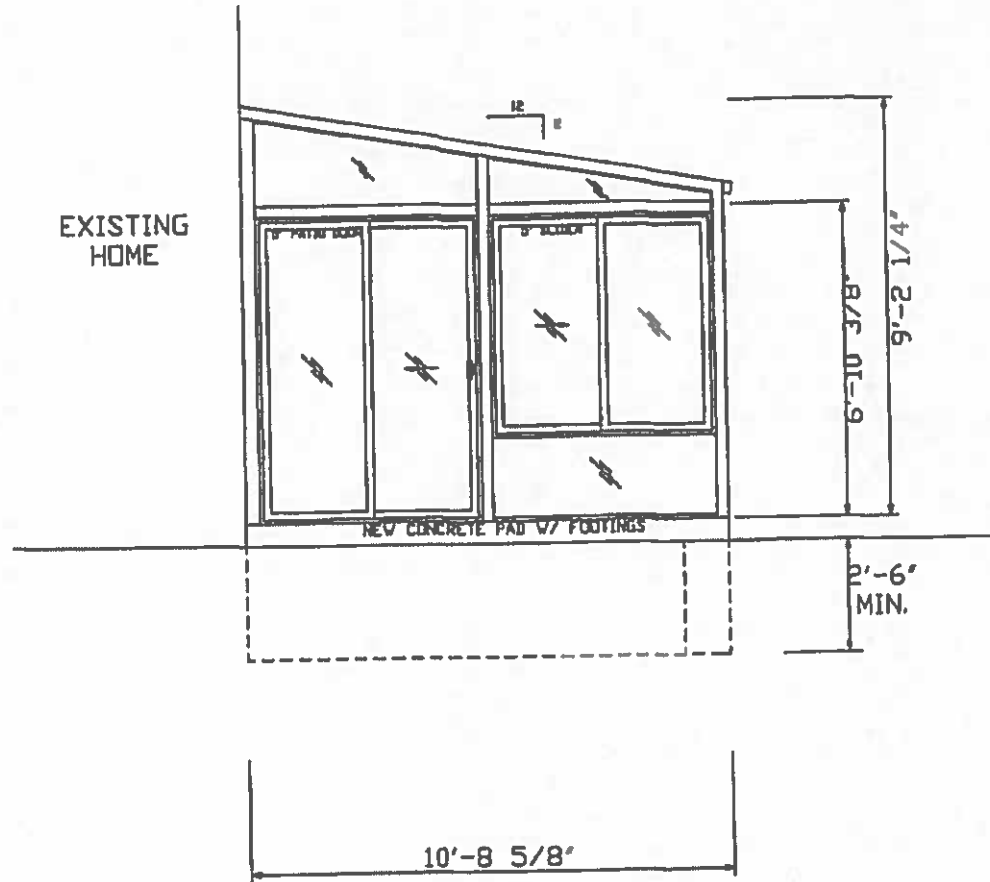


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



PATRIOT SUNROOMS 811 S. KIRKWOOD RD. KIRKWOOD, MO 63122 P: 314-822-8813 F: 314-822-8813	
JWG NC	32017 17-8104
REV 1	SP-EC1
JCB TITLE	SPURGEON 11334 ST. PAUL ST. CREVE COEUR, MO 63141
PHONE: 314-682-3200 FAX: 636-302-8820 EMAIL: info@broughton-engineering.com	Broughton ENGINEERING

EXISTING HOME



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



BRIDGEMAN ENGINEERING, INC. 9000 W. 11TH AVENUE, SUITE 100, DENVER, CO 80202

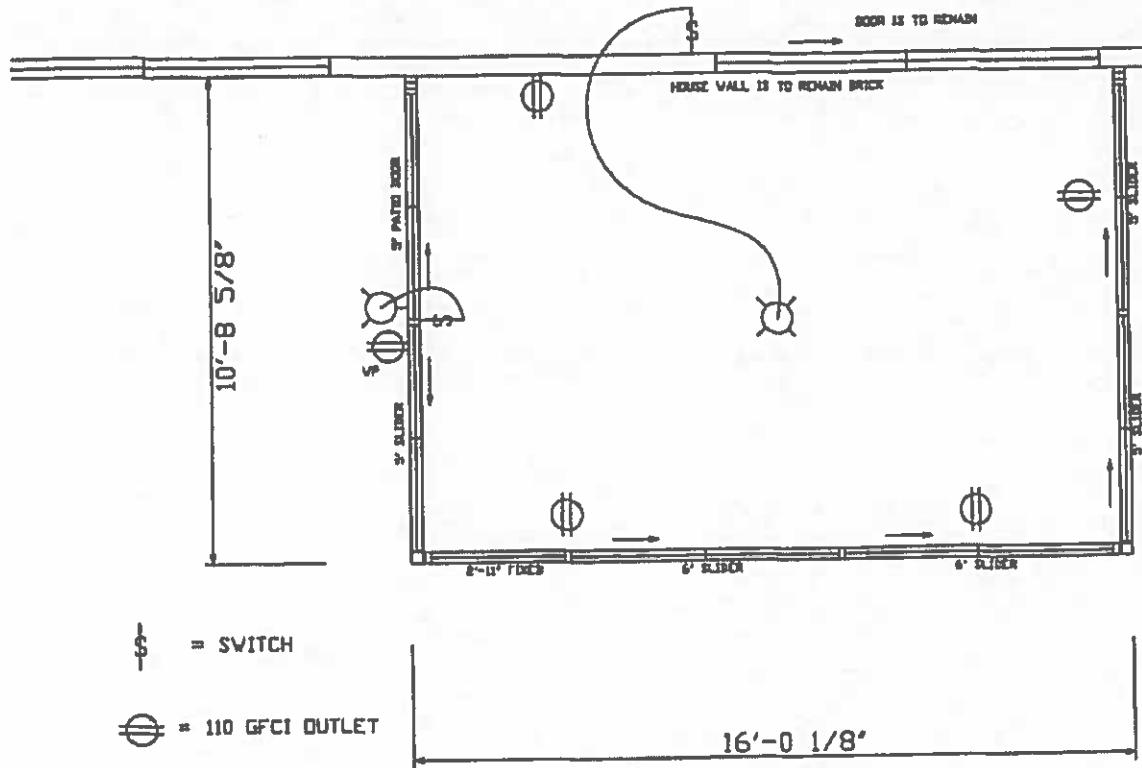
Broughton
ENGINEERING





PHONE: 314-833-3300
FAX: 636-332-0808
EMAIL: info@broughtoneng.com

JOB TITLE: **SPURGEON**
11334 ST. PAUL ST.
CREVE COEUR, MO 63141

REV	3/2017
1	17-8104
SI-EET	

PATRIOT SUNROOMS
811 S. KIRKWOOD RD.
KIRKWOOD, MO 63122
P: 314-822-9813
F: 314-822-9813

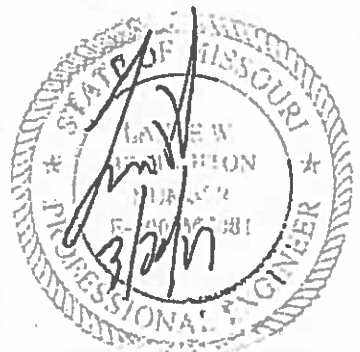


-  = SWITCH
-  = 110 GFCI OUTLET
-  = LIGHT FIXTURE
-  = CEILING FIXTURE

PLAN VIEW
SCALE: 1/4" = 1'-0"

NOTES:

1. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED.
2. A NEW BRONZE STUDIO 'FOUR SEASONS' SUNROOM IS TO BE BUILT ON A NEW CONCRETE PAD WITH FOOTINGS.
3. EXISTING HOUSE DOOR IS TO REMAIN.
4. HOUSE WALL IS TO REMAIN BRICK FINISH.
5. ALL ELECTRIC SHOWN IS A GENERAL LAYOUT. CHANGES MAY BE MADE IF NEEDED TO MEET LOCAL CODE REQUIREMENTS. OUTLETS ARE TO BE IN UL FLOOR BOXES.
6. ALL MATERIAL AND COMPONENTS ARE TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS/SPECS.



I MAKE NO WARRANTY, EITHER EXPRESS OR IMPLIED, AS TO THE ACCURACY OR COMPLETENESS OF THESE DRAWINGS.

Broughton
ENGINEERING

PHONE: 314-822-3300
FAX: 314-822-8800
E-MAIL: info@broughtoneng.com

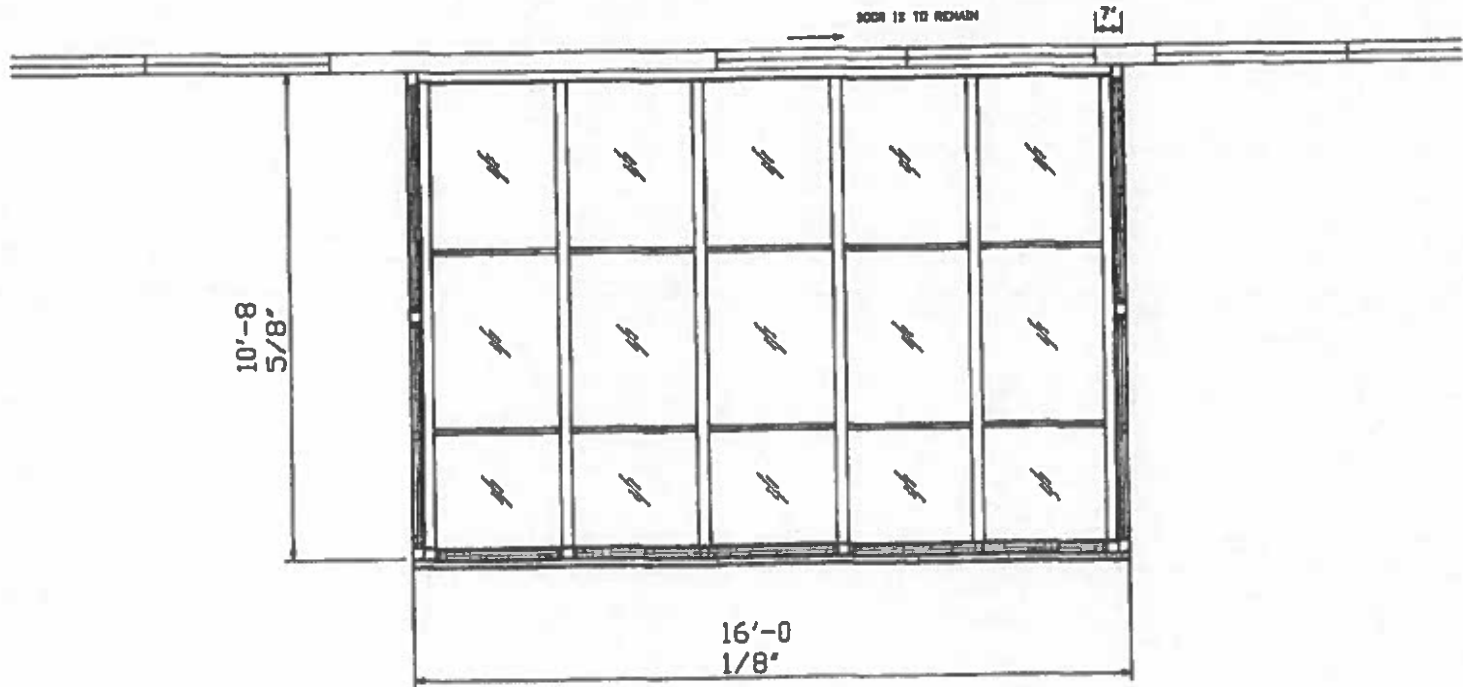
JCB TILL SPURGEON
11334 ST. PAUL ST.
CREVE COEUR, MO 63141

REV	DWG NO
1	
SI-ET	3/20/17 17-8104

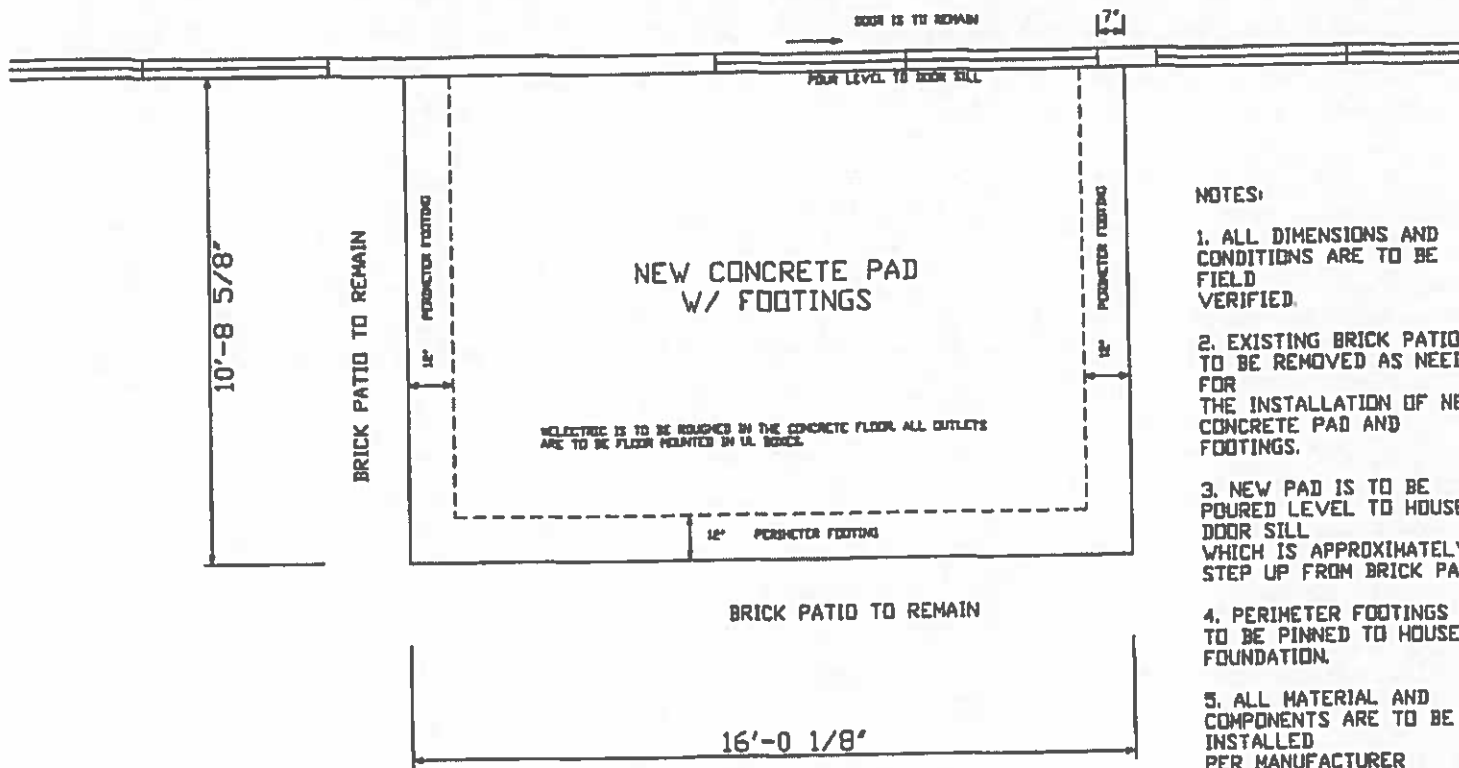
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811 S. KIRKWOOD RD.
KIRKWOOD, MO 63122
P: 314-822-9813
F: 314-822-9813

ROOF GLASS LAYOUT

SCALE: 1/4" = 1'-0"



Patriot Sunrooms 811 S. KIRKWOOD RD. KIRKWOOD, MO 63122 P: 314-822-8813 F: 314-822-9813	
JOB TITLE	SPURGEON 11334 ST. PAUL ST. CREVE COEUR, MO 63141
REV	1 SHEET
DWG NO.	32017 17-8104
Broughton ENGINEERING	PHONE: 314-822-3222 FAX: 314-222-0820 E-MAIL: info@broughtonengineering.com

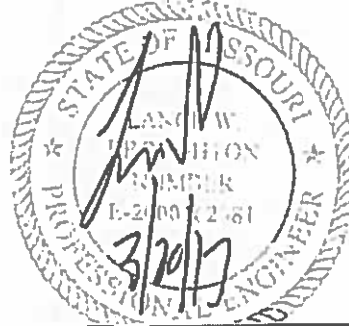


NOTES:

1. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED.
2. EXISTING BRICK PATIO IS TO BE REMOVED AS NEEDED FOR THE INSTALLATION OF NEW CONCRETE PAD AND FOOTINGS.
3. NEW PAD IS TO BE POURED LEVEL TO HOUSE DOOR SILL WHICH IS APPROXIMATELY 7" STEP UP FROM BRICK PATIO.
4. PERIMETER FOOTINGS ARE TO BE PINNED TO HOUSE FOUNDATION.
5. ALL MATERIAL AND COMPONENTS ARE TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS/SPECS.

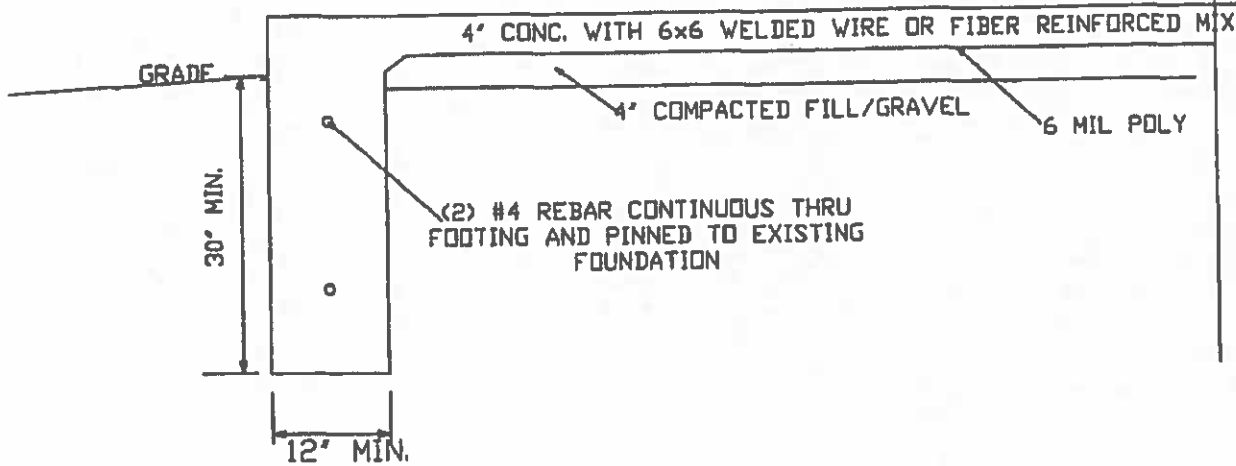
CONCRETE PLAN

SCALE: 1/4" = 1'-0"



LANCE W. BROUGHTON P.E., I.C.E. & PROFESSIONAL ENGINEER (LICENSE NO. E-20002261) STATE OF MISSOURI

PATRIOT SUNROOMS 811 S. KIRKWOOD RD. KIRKWOOD, MO 63122 P: 314-822-9813 F: 314-822-9813	
DWG NO. 3/20/17	17-8104
REV 1	SHEET
SPURGEON 11334 ST. PAUL ST. CREVE COEUR, MO 63141	
JCB TITLE	
PHONE: 314-822-3200 FAX: 314-822-6808 E-MAIL: lbroughton@spurgeoneng.com	
Broughton ENGINEERING	



CONCRETE DETAIL
NTS



EXISTING HOME

FLOOR LEVEL

LARRY W. BRIGHAM P.E., P. 100015091, MISSOURI PROFESSIONAL ENGINEER REG. NO. 100015091, U.S. OFFICE OF AIR & FORCE ENGINEER

Broughton
ENGINEERING

PHONE: 314-800-3200
FAX: 636-322-9800
E-MAIL: info@broughtoneng.com

JOB TITLE: **SPURGEON**
11934 ST. PAUL ST.
CREVE COEUR, MO 63141

REV	DWG NO.
1	320017
SI-EEF	17-8104

PATRIOT SUNROOMS
811 S. KIRKWOOD RD.
KIRKWOOD, MO 63122
P: 314-822-9813
F: 314-822-9813

230 SUN & STARS ROOMS: STRAIGHT EAVE (2 in 12 ROOF PITCH) ENGINEERING AND STRUCTURAL LOADING INFORMATION

EFFECTIVE DATE 1-1-2017
REVISION: C

ROOM MODEL	GLAZING BAR O.C. SPACING	RAFTER TYPE	ROOF LIVE LOAD (psf)	DEFLECTION LIMIT L /	EXPOSURE B WIND LOAD (mph)	ROOM MODEL	GLAZING BAR O.C. SPACING	RAFTER TYPE	ROOF LIVE LOAD (psf)	DEFLECTION LIMIT L /	EXPOSURE B WIND LOAD (mph)	
S*M-6DH (5'-6 3/4")	2'-6 5/8"	5LB3	150	188	140	S*M-15DH (14'-9 1/4")	2'-6 5/8"	5HB3	25	96	115	
	3-0 5/8"	5LB3	130	180	125		3-0 5/8"	5HB3	21	92	115	
S*M-7DH (6'-6 1/2")	2'-6 5/8"	5LB3	105	160	140		2'-6 5/8"	5LB5	26	99	115	
	3-0 5/8"	5LB3	90	155	125		3-0 5/8"	5LB5	23	92	115	
S*M-8DH (8'-7 1/2")	2'-6 5/8"	5LB3	85	109	140		2'-6 5/8"	5CB5	49	107	115	
	3-0 5/8"	5LB3	54	108	125		3-0 5/8"	5CB5	41	105	115	
	2'-6 5/8"	5HB3	87	159	140	S*M-16DH (15'-11 1/2")	2'-6 5/8"	5HB3	20	91	115	
	3-0 5/8"	5HB3	73	157	125		3-0 5/8"	5HB3	16	90	115	
S*M-10DH (9'-8 1/8")	2'-6 5/8"	5LB3	47	102	140		2'-6 5/8"	5LB5	21	94	115	
	3-0 5/8"	5LB3	39	101	125		3-0 5/8"	5LB5	17	92	115	
	2'-6 5/8"	5HB3	88	110	140		2'-6 5/8"	5CB5	39	104	115	
	3-0 5/8"	5HB3	74	108	125		3-0 5/8"	5CB5	32	104	115	
S*M-11DH (10'-8 5/8")	2'-6 5/8"	5LB3	33	102	140		2'-6 5/8"	5HB7	45	120	115	
	3-0 5/8"	5LB3	29	96	125		3-0 5/8"	5HB7	38	120	115	
	2'-6 5/8"	5HB3	67	104	140	S*M-17DH (16'-10 1/4")	2'-6 5/8"	5LB5	18	90	105	
	3-0 5/8"	5HB3	57	101	125		3-0 5/8"	5LB5	15	86	105	
S*M-12DH (11'-10 1/8")	2'-6 5/8"	5LB3	24	98	125		2'-6 5/8"	5CB5	33	103	105	
	3-0 5/8"	5LB3	21	92	119		3-0 5/8"	5CB5	28	99	105	
	2'-6 5/8"	5HB3	50	100	135		2'-6 5/8"	5HB7	38	120	105	
	3-0 5/8"	5HB3	42	98	125		3-0 5/8"	5HB7	30	120	105	
S*M-13DH (12'-8 3/4")	2'-6 5/8"	5LB3	20	93	119	S*M-18DH (17'-10")	2'-6 5/8"	5CB5	28	101	100	
	3-0 5/8"	5LB3	16	93	119		3-0 5/8"	5CB5	23	99	100	
	2'-6 5/8"	5HB3	39	102	125		2'-6 5/8"	5HB7	31	120	100	
	3-0 5/8"	5HB3	32	101	125		3-0 5/8"	5HB7	26	120	100	
	2'-6 5/8"	5LB5	41	105	125		S*M-19DH (18'-10")	2'-6 5/8"	5CB5	23	101	100
	3-0 5/8"	5LB5	34	103	125			3-0 5/8"	5CB5	20	94	100
	2'-6 5/8"	5CB5	60	140	125	2'-6 5/8"		5HB7	26	120	100	
	3-0 5/8"	5CB5	50	138	125	3-0 5/8"		5HB7	21	120	100	

*WIND LOADS ARE BASED ON ACTUAL CONDITIONS, 120 MPH AND OVER ARE BASED ON A PARTIALLY ENCLOSED DESIGN. THERE IS NO NEED TO "SUBTRACT" OVER 120 MPH

TABLE A - BASIC WIND SPEED CONVERSION

1	2009 EQUIVALENT BASIC WIND SPEED	87	91	95	103	111	119	126	134	142
2	2012 & 2015 BASIC WIND SPEED	110	115	120	130	140	150	160	170	180

NOTE: 1. WIND SPEED SHOWN IN CHART ABOVE IS BASED ON 2009 IBC

2. TO DETERMINE IF ROOM MEETS 2012 OR 2015 WIND SPEED REQUIREMENTS SELECT APPROPRIATE DESIGN WIND SPEED FROM 2012 IBC/IRC AND THEN USING TABLE A ABOVE SELECT 2012 VALUE FROM LINE 2 AND THEN DETERMINE EQUIVALENT 2009 BASIC WIND SPEED FROM LINE 1

3. WIND SPEED VALUE IN CHART MUST EXCEED VALUE DETERMINED FROM LINE 1 IN TABLE A

4. LINE 1 AND LINE 2 COMPARE WIND SPEED MAP VALUES FROM 2009 AND 2012/2015 CODES - THESE MAPS ARE BASED ON EXPOSURE C



NOTES:

- 1) 5LB3 = 3" LITE BAR, 5HB3 = 3" HEAVY BAR, 5LB5 = 5" LITE BAR
5CB5 = 5" HEAVY BAR, 5HB7 = 5CB5 HEAVY BAR W/4RSB RAFTER STIFFENER.
- 2) ALUMINUM ALLOY FOR GLAZING BARS IS 6005-T5.
- 3) DEAD LOAD OF ROOF SYSTEM IS 5 PSF.
- 4) ALL ROOMS ARE ACCEPTABLE FOR CONSTRUCTION IN SEISMIC AREAS WITH A SPECTRAL RESPONSE ACCELERATION, S_a, LESS THAN OR EQUAL TO 141%g. OTHER SEISMIC LOADS MUST BE EVALUATED ON AN INDIVIDUAL BASIS.
- 5) DEFLECTION LIMITS ARE SHOWN ON THE CHART.
- 6) WINDS ARE BASED ON AN ENCLOSED STRUCTURE, EXCEPT WHEN 120 MPH AND GREATER, THEN WINDS ARE BASED ON AN PARTIALLY ENCLOSED STRUCTURE.
- 7) LOADS REPRESENT ALLOWABLE VALUES UP TO A 8'-0" EAVE HEIGHT, AND A 15' ROOM WIDTH. OTHER CONFIGURATIONS MUST BE EVALUATED ON AN INDIVIDUAL BASIS.
- 8) THIS SUMMARY PERTAINS TO THE STRUCTURAL INTEGRITY OF OUR UNIT UP TO, BUT NOT INCLUDING, THE CONNECTIONS TO THE EXISTING STRUCTURE AND/OR ANY NEW CONSTRUCTION. ALL SUBSTRUCTURE DESIGN REQUIREMENTS AND CONNECTIONS TO THE EXISTING STRUCTURE ARE NOT INCLUDED IN THE SCOPE OF WORK FOR THE FOUR SEASONS PRODUCT, AND MUST BE EVALUATED BY OTHERS.
- 9) THE ENGINEERING DESIGN SCOPE FOR THE FOUR SEASONS PRODUCT DOES NOT ACCOUNT FOR SPECIAL LOAD CONDITIONS CREATED BY ATTACHMENT TO THE EXISTING STRUCTURE. THESE MAY INCLUDE SNOW DRIFTING OR UNBALANCE SNOW LOADING. ANY SPECIAL LOADING CONDITIONS MUST BE EVALUATED BY OTHERS.
- 10) ENGINEERS CERTIFICATION: I CERTIFY THAT THESE ENGINEERING SPECIFICATIONS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATES SHOWN.